



Department of Building & Grounds
Architectural Services Division

City of Baton Rouge
Parish of East Baton Rouge

P.O. Box 1471
Baton Rouge, Louisiana 70821
225 389-4694 Voice
225 389-4704 Fax

ADDENDUM #1

November 14, 2024

TO ALL BIDDERS

PROJECT: PUBLIC SAFETY COMPLEX H2 ROOF RECOVER CITY PARISH PROJECT NO. 21-ASC-CP-1567

The following revisions shall be incorporated in and take precedence over any conflicting part of the original contract documents.

1. Clarification: Bidders must include in their bids all sales and/or use taxes on materials, supplies and equipment to be furnished for use on the project.
2. Clarification: A non-mandatory Pre-Bid Conference was held on Tuesday, November 5, 2024 at 12:00 PM at the Public Safety Complex, 9050 Airline Hwy., Baton Rouge, Louisiana, 70815. The meeting minutes are attached to this addendum.
3. Clarification: Attached are examples of Certified Payroll Reports for reference.
4. Project Manual, Bid Form. Delete Bid Form. Add attached Bid Form.
5. Project Manual. Add attached Unit Price Form.
6. Specification Section 01 0000.1.03.B.4, "City Parish Summary of Work; Schedule of Alternates": Delete "Schedule of Alternates: None", substitute "Alternate No. 1: Remove and replace existing coping and expansion joint covers for the lump sum ADD of:"
7. Project Manual, Notice to Contractors, 1st page, 5th paragraph: delete "classification of **Building Construction**", substitute "classification of **Roofing and Sheet Metal**".
8. Specification Section 07 5713, "Sprayed Polyurethane Coating", Section 1.3, "References". Add Item U. "ANSI/ASTM – D 6694 Standard Specification for Liquid-Applied Silicone Coating Used in Spray Polyurethane Roofing, current edition."
9. Specification Section 07 5713, "Sprayed Polyurethane Coating", Section 1.4.A, "System Description". Add Number 4. "Slope not less than ¼" per 12"."
10. Specification Section 07 5713, "Sprayed Polyurethane Coating", Section 1.5, "Submittals". Add Item G. "Florida Building Code Evaluation Report demonstrating system compliance with Florida Building Code 8th Edition (2023), Section 1504.3.1."
11. Architectural Drawings. Delete all Architectural Drawings and replace with the attached.

The following revisions shall be incorporated in and take precedence over any conflicting part of the original contract documents.

TOTAL PAGES7 (DRAWINGS)
TOTAL PAGES7 (ADDENDUM)
TOTAL PAGES16 (INCLUDING THIS PAGE)

FAILURE TO INDICATE RECEIPT OF THIS ADDENDUM ON BID FORM MAY BE CAUSE FOR THE BID TO BE REJECTED

Rob Gray, AIA, LEED AP BD+C, Interim Chief Architect
Architectural Services Division
1100 Laurel Street, Rm. 227
Baton Rouge, LA 70802



Department of Building & Grounds
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**PUBLIC SAFETY COMPLEX H2 ROOF RECOVER
9050 AIRLINE HWY.
BATON ROUGE, LA 70815
PROJECT NO. 21-ASC-CP-1567**

PRE-BID CONFERENCE

TUESDAY, NOVEMBER 5, 2024

The Pre-Bid Conference was held on Tuesday, November 5th at 12:00 PM at the Public Safety Complex, 9050 Airline Hwy., Baton Rouge, LA 70815.

Lionel Christophe	L&M Louisiana's Contractor, LLC	(504) 952-2132	louisianacontractor@gmail.com
Tim Kinyomi	BG-ASD	(225) 389-4694	tkinyomi@brla.gov
Rob Gray	BG-ASD	(225) 389-4694	rgray@brla.gov

1. All attendees were requested to sign the Pre-Bid Conference Sign-In Sheet and given a copy of the pre-bid conference agenda.
2. Meeting was opened by Rob Gray of City of Baton Rouge, Department of Buildings and Grounds, Architectural Services Division. User was identified as the Department of Buildings and Grounds. Members of the design team were introduced –Rob Gray, ASD. Attendees were introduced to Tim Kinyomi of ASD who will be performing construction administration on the project. Rob noted ASD is serving a dual role as both “Owner’s Representative” and “Designer” as Architectural Services Division has issued the bid documents.
3. Scope of work was noted as the roof recover of the west side of Public Safety Complex H2 roof with spray polyurethane foam roof membrane.
4. Rob noted all information requests were to be routed to him.
5. It was noted all requests for substitutions are to be made prior to bidding. The cutoff for substitution requests is 2:00 PM, Wednesday, November 13, 2024. Addendum process was explained to attendees and it was noted for a prior approval to be reviewed and included in the final addendum, the prior approval request would need to be submitted to ASD a minimum of 5 days prior to bid opening.
6. Access to site was discussed. Access to roof is at east side of building, adjacent Roof Section “E”. Staging area is immediately below and directly across the drive. Employee parking is on the north side of the complex. All are noted on Drawing 1, Sheet A-1.0.
7. It was noted the Contractor would be responsible for interim life safety measures at the project site as well as immediate security on the project site and staging area. BRPD 3rd Precinct is housed in H3 and personnel from 3rd Precinct are on site at all times. Contractor will be given access to job site will be 24 hours per day, 7 days a week.
8. Bid procedure was reviewed. Contract time is 90 days, liquidated damages amount is \$430/day.
9. It was noted the budget amount will not be disclosed until the bid opening.
10. It was noted the license classification was incorrectly noted on the Notice to Contractors as “Building Construction.” Correct classification is “Roofing and Sheet Metal” which will be revised via addendum.
11. All addenda will be posted to Central Auction House.

12. Anticipated meetings were reviewed. These included the pre-construction conference, weekly progress meetings and monthly meetings.
13. Rob noted bid documents require the General Contractor's superintendent to be on site all times work is being performed.
14. It was noted the project has been permitted through both Louisiana Office of the State Fire Marshal and City-Parish Permits and Inspections Division.
15. Anticipated addenda items were reviewed, including but not limited to enlarged plans and details and pre-bid meeting minutes.
16. It was noted the project is not tax exempt but is Federally funded. Davis Bacon Act wage rates will not be applicable, however, the terms of the Federal grant require the prime contractor and all subcontractors to submit certified payroll reports commencing the week each contractor begins work. If a contractor does not perform work on a given week, they will need to submit a certified payroll report noting "No Work Performed." Examples of CPRs will be provided upon request.
17. Anticipated start date was reviewed. It is assumed the pre-construction meeting will occur 10 weeks after the bid opening, with the Notice to Proceed issued the following week.
18. The meeting was adjourned and attendees toured the project site.

END OF MEETING

Date: November 5, 2024


Project: Public Safety Complex H2 Roof Recover

Project No: 21-ASC-CP-1567

Bid Date: November 19, 2024

PRE-BID CONFERENCE SIGN-IN SHEET

PLEASE SIGN IN AND WRITE YOUR PHONE NUMBER AND FAX NUMBER

(Print) Name & Email	Phone Number	Fax Number	Company Name & License#	Signature
Name: <u>Lionel Christopher</u>	<u>(504) 952-1732</u>		<u>L & M Louisiana's contractor</u>	
Email: <u>louisianacocontractor@gmail.com</u>			<u>75769</u>	
Name:				
Email:				
Name:				
Email:				
Name:				
Email:				

Certified Payroll Transcript

PR #1

Period: 1/30/2023 - 2/5/2023

Job: PSC H2 BUILDING RENOVATION FOR VETERAN'S AFFAIRS

Contract: 21-ASC-CP-1558

-----Hours-----												***** Weekly Totals ***** (Week Ending 2/5/23)		
Employee	Sun	Mon	Tue	Wed	Thu	Fri	Sat	Total	Rate	Project Amounts	Total Gross	Deductions	Net Pay	
M/EX: M/1	0.00	0.00	0.00	0.00	0.00	8.00	0.00	8.00	22.000	176.00	Federal Withholding	17.00		
Race/Sex: B/M	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.350	2.80	Social Security	43.65		
Non Union										0.00	Medicare	10.21		
Operator										0.00	Additional Medicare T			
EEO:										178.80	Louisiana Withholding	19.07		
Check #: 0209231											Other			
											704.00	89.93	614.07	
M/EX: M/0	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	29.000	0.00	Federal Withholding	67.00		
Race/Sex: W/M										0.00	Social Security	71.92		
Non Union										0.00	Medicare	16.82		
Pipefitter										0.00	Additional Medicare T			
EEO:										0.00	Louisiana Withholding	38.12		
Check #: 0209231											1,210.00	193.86	1,016.14	
M/EX: S/0	0.00	0.00	0.00	0.00	0.00	8.00	0.00	8.00	20.000	160.00	Federal Withholding	21.00		
Race/Sex: B/M	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.840	22.72	Social Security	29.76		
Non Union										0.00	Medicare	6.96		
Laborer										0.00	Additional Medicare T			
EEO:										182.72	Louisiana Withholding	11.23		
Check #: 0209231											Other	159.38		
											480.00	228.33	251.67	
-----Hours-----												***** Weekly Totals ***** (Week Ending 2/5/23)		
Job Totals (Hours)	Sun	Mon	Tue	Wed	Thu	Fri	Sat	Total	Rate	Project Amounts	Total Gross	Deductions	Net Pay	
Regular Time	0.00	0.00	0.00	0.00	0.00	16.00	0.00	16.00		336.00	Federal Withholding	105.00		
Cash Fringe	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		25.52	Social Security	145.33		
										0.00	Medicare	33.99		
										0.00	Additional Medicare T			
										361.52	Louisiana Withholding	68.42		
											Other	159.38		
											2,394.00	512.12	1,881.88	

Date 5/17/2023

I, _____
(Name of Signatory Party) (Title)

do hereby state:

(1) That I pay or supervise the payment of the persons employed by

(Contractor or Subcontractor)
on the

PSC H2 BLDG RENOVATIONS FOR VETERAN'S AFFAIRS ;

(Building or Work)

that during the payroll period commencing on the 30
day of January, 2023, and ending the 5 day of
February, 2023,

all persons employed on said project have been paid the full weekly wages earned, that no rebates have been or will be made either directly or indirectly to or on behalf of said

(Contractor or Subcontractor)

from the full weekly wages earned by any person and that no deductions have been made either directly or indirectly from the full wages earned by any person, other than permissible deductions as defined in Regulations, Part 3 (29 CFR Subtitle A), issued by the Secretary of Labor under the Copeland Act, as amended (48 Stat. 948, 63 Stat. 108, 72 Stat. 967; 76 Stat. 357; 40 U.S.C. §3145), and described below:

(2) That any payrolls otherwise under this contract required to be submitted for the above period are correct and complete; that the wage rates for laborers or mechanics contained therein are not less than the applicable wage rates contained in any wage determination incorporated into the contract; that the classifications set forth therein for each laborer or mechanic conform with the work he performed.

(3) That any apprentices employed in the above period are duly registered in a bona fide apprenticeship program registered with a State apprenticeship agency recognized by the Bureau of Apprenticeship and Training, United States Department of Labor, of if no such recognized agency exists in a State, are registered with the Bureau of Apprenticeship and Training, United States Department of Labor.

(4) That:

(a) WHERE FRINGE BENEFITS ARE PAID TO APPROVED PLANS, FUNDS, OR PROGRAMS

- In addition to the basic hourly wage rates paid to each laborer or mechanic listed in the above referenced payroll, payments of fringe benefits as listed in the contract have been or will be made to appropriate programs for the benefit of such employees, except as noted in Section 4(c) below.

(b) WHERE FRINGE BENEFITS ARE PAID IN CASH

- Each laborer or mechanic listed in the above referenced payroll has been paid, as indicated on the payroll, an amount not less than the sum of the applicable basic hourly wage rate plus the amount of the required fringe benefits as listed in the contract, except as noted in Section 4(c) below.

(c) EXCEPTIONS

EXCEPTION (CRAFT)	EXPLANATION
REMARKS:	

NAME AND TITLE	SIGNATURE
THE WILLFUL FALSIFICATION OF ANY OF THE ABOVE STATEMENTS MAY SUBJECT THE CONTRACTOR OR SUBCONTRACTOR TO CIVIL OR CRIMINAL PROSECUTION. SEE SECTION 1001 OF TITLE 18 AND SECTION 231 OF TITLE 31 OF THE UNITED STATES CODE.	

LOUISIANA UNIFORM PUBLIC WORK BID FORM

TO: City of Baton Rouge
Parish of East Baton Rouge
Purchasing Division Room 826
City Hall 222 St Louis St
Baton Rouge, LA 70802

BID FOR: Public Safety Complex H2 Roof Recover
9000 Airline Hwy.
Baton Rouge, LA 70815

City-Parish Project No. 21-ASC-CP-1567

The undersigned bidder hereby declares and represents that she/he; a) has carefully examined and understands the Bidding Documents, b) has not received, relied on, or based his bid on any verbal instructions contrary to the Bidding Documents or any addenda, c) has personally inspected and is familiar with the project site, and hereby proposes to provide all labor, materials, tools, appliances and facilities as required to perform, in a workmanlike manner, all work and services for the construction and completion of the referenced project, all in strict accordance with the Bidding Documents prepared by: **Department of Buildings & Grounds, Architectural Services Division** and dated: **October 15, 2024**.

Bidders must acknowledge all addenda. The Bidder acknowledges receipt of the following **ADDENDA:** *(Enter the number the Designer has assigned to each of the addenda that the Bidder is acknowledging)* _____ .

TOTAL BASE BID: For all work required by the Bidding Documents (including any and all unit prices designated "Base Bid" * but not alternates) the sum of:

_____ Dollars (\$_____)

ALTERNATES: For any and all work required by the Bidding Documents for Alternates including any and all unit prices designated as alternates in the unit price description.

Alternate No. 1: Remove and replace existing coping and expansion joint covers for the lump sum ADD of

_____ Dollars (\$_____)

Alternate No. 2: N/A

_____ Dollars (\$_____)

Alternate No. 3: N/A

_____ Dollars (\$_____)

NAME OF BIDDER: _____

ADDRESS OF BIDDER: _____

LOUISIANA CONTRACTOR'S LICENSE NUMBER: _____

NAME OF AUTHORIZED SIGNATORY OF BIDDER: _____

TITLE OF AUTHORIZED SIGNATORY OF BIDDER: _____

SIGNATURE OF AUTHORIZED SIGNATORY OF BIDDER **: _____

DATE: _____

THE FOLLOWING ITEMS ARE TO BE INCLUDED WITH THE SUBMISSION OF THIS LOUISIANA UNIFORM PUBLIC WORK BID FORM:

* The Unit Price Form shall be used if the contract includes unit prices. Otherwise it is not required and need not be included with the form. The number of unit prices that may be included is not limited and additional sheets may be included if needed.

** **A CORPORATE RESOLUTION OR WRITTEN EVIDENCE** of the authority of the person signing the bid for the public work as prescribed by LA R.S. 38:2212(B)(5).

BID SECURITY in the form of a bid bond, certified check or cashier's check as prescribed by LA RS 38:2218(A) is attached to and made a part of this bid.

LOUISIANA UNIFORM PUBLIC WORK BID FORM

UNIT PRICE FORM

TO: City of Baton Rouge
 Parish of East Baton Rouge
 Purchasing Division, City Hall
 222 Saint Louis St., 8th floor, Room 826
 Baton Rouge, Louisiana 70802

BID FOR:
Public Safety Complex H2 Roof Recover
9000 Airline Hwy.
Baton Rouge, LA 70815

UNIT PRICES: This form shall be used for any and all work required by the Bidding Documents and described as unit prices. Amounts shall be stated in figures and only in figures.

DESCRIPTION:	<input checked="" type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ____ Remove and replace deteriorated wood nailers and blocking.			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION <i>(Quantity times Unit Price)</i>
Unit Price #1	75	Board Feet		

DESCRIPTION:	<input type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ____ Not applicable.			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION <i>(Quantity times Unit Price)</i>
Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

DESCRIPTION:	<input type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ____ Not applicable.			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION <i>(Quantity times Unit Price)</i>
Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

DESCRIPTION:	<input type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ____ Not applicable.			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION <i>(Quantity times Unit Price)</i>
Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

DESCRIPTION:	<input type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ____ Not applicable.			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION <i>(Quantity times Unit Price)</i>
Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

DESCRIPTION:	<input type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ____ Not applicable.			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION <i>(Quantity times Unit Price)</i>
Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

All quantities are estimated. The contractor will be paid based upon actual quantities as verified by the Owner.



SEAL:

PUBLIC SAFETY COMPLEX H2 ROOF RECOVER

9000 AIRLINE HWY., BATON ROUGE, LA 70815

October 15, 2024

CITY-PARISH PROJECT NUMBER: 21-ASC-CP-1567

City of Baton Rouge Parish of East Baton Rouge
Sharon Weston Broome - Mayor

Department of Buildings and Grounds Director
Joseph R. Butler, Sr.

Public Safety Complex H2 Roof Recover
9000 Airline Hwy., Baton Rouge, LA 70815
City-Parish Project No. 21-ASC-CP-1567

Building Data

BUILDING CODE:
INTERNATIONAL BUILDING CODE 2021
INTERNATIONAL EXISTING BUILDING CODE 2021

PLUMBING CODE:
INTERNATIONAL PLUMBING CODE 2021

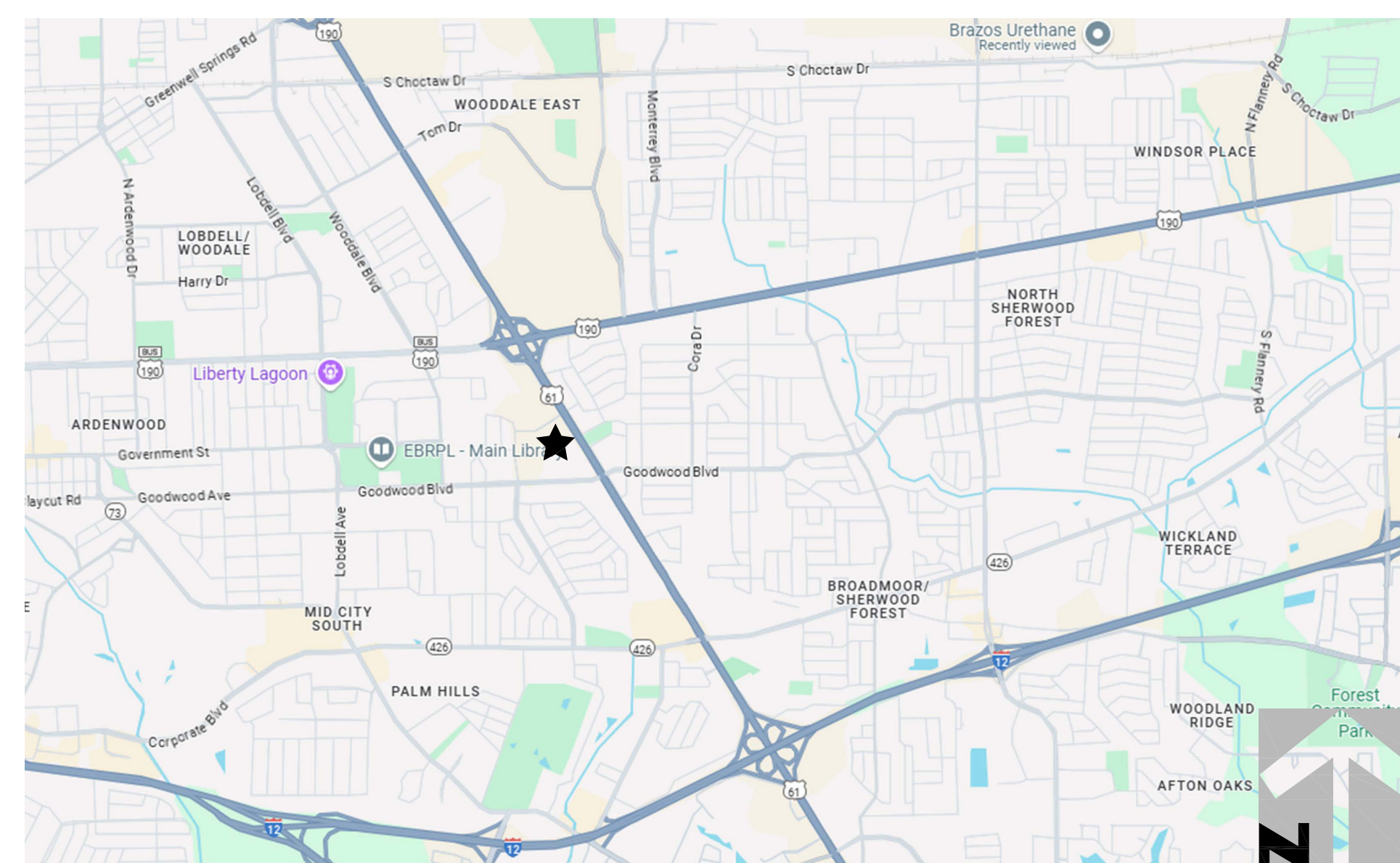
MECHANICAL CODE:
INTERNATIONAL MECHANICAL CODE 2021

ELECTRICAL CODE:
NATIONAL ELECTRICAL CODE 2020

FIRE CODE:
NFPA 101 LIFE SAFETY CODE 2015

ENERGY CONSERVATION:
INTERNATIONAL ENERGY CONSERVATION CODE 2009
ASHRAE 90.1-2007

ACCESSIBILITY:
ADA-ABA ACCESSIBILITY GUIDELINES 2010



1 VICINITY MAP
NOT TO SCALE

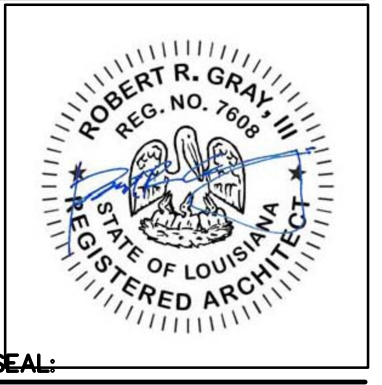
Drawing Index

T-1.1	TITLE SHEET
A-1.0	SITE PLAN AND NOTES
A-1.1	ROOF PLAN AND DETAILS
A-1.2	SOUTHWEST QUADRANT ROOF PLAN AND DETAILS
A-1.3	NORTHWEST QUADRANT ROOF PLAN AND DETAILS
A-1.4	SOUTHEAST QUADRANT ROOF PLAN AND DETAILS
A-1.5	ROOF DETAILS

DRAWING INDEX VICINITY MAP

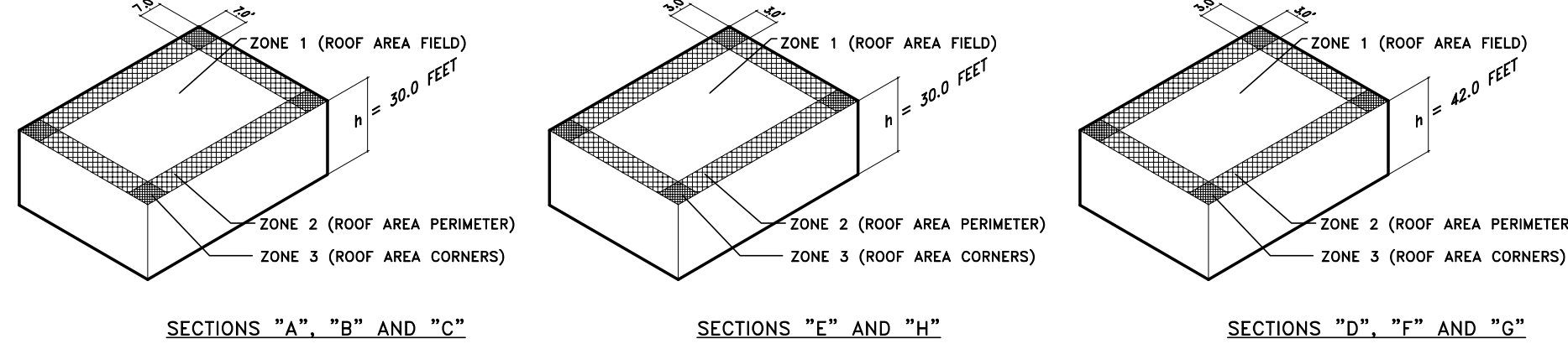
REVISION:	
1	November 14, 2024
CHK: _____ DRAWN: _____	
FILE NAME: _____	
DATE:	15 Oct 2024
TITLE:	

T-1.1



6 WIND-LOAD ANALYSIS

SECTION "A"		
ROOF AREA PROPERTIES	DIMENSIONS	137 x 165ft (41.7 x 50.3 m)
	HEIGHT	30ft (9.1 m)
	SLOPE	0.25 in 12 (1.2 degrees)
MIN 3 FT (1M) CONTINUOUS PARAPET		Y
	SURFACE ROUGHNESS	B
SITE PROPERTIES	WIND SPEED	124 MPH
	TROPICAL CYCLONE PRONE REGION	NO
WIND PRESSURES	ZONE 1 PRIME	-
	ZONE 1	51 PSF (2.4 KPA)
	ZONE 2	67 PSF (3.2 KPA)
WIND UPLIFT RATINGS	ZONE 1	105 PSF
	ZONE 2	150 PSF
SECTION "B"	DIMENSIONS	68 x 156 ft (20.7 x 47.5 m)
	HEIGHT	30ft (9.1 m)
	SLOPE	0.25 in 12 (1.2 degrees)
MIN 3 FT (1M) CONTINUOUS PARAPET		Y
	SURFACE ROUGHNESS	B
SITE PROPERTIES	WIND SPEED	124 MPH
	TROPICAL CYCLONE PRONE REGION	NO
WIND PRESSURES	ZONE 1 PRIME	-
	ZONE 1	51 PSF (2.4 KPA)
	ZONE 2	67 PSF (3.2 KPA)
WIND UPLIFT RATINGS	ZONE 1	105 PSF
	ZONE 2	150 PSF
SECTION "C"	DIMENSIONS	194 x 188 ft (59.1 x 57.3 m)
	HEIGHT	30ft (9.1 m)
	SLOPE	0.25 in 12 (1.2 degrees)
MIN 3 FT (1M) CONTINUOUS PARAPET		Y
	SURFACE ROUGHNESS	B
SITE PROPERTIES	WIND SPEED	124 MPH
	TROPICAL CYCLONE PRONE REGION	NO
WIND PRESSURES	ZONE 1 PRIME	-
	ZONE 1	51 PSF (2.4 KPA)
	ZONE 2	67 PSF (3.2 KPA)
WIND UPLIFT RATINGS	ZONE 1	105 PSF
	ZONE 2	150 PSF
SECTION "D"	DIMENSIONS	9 x 36 ft (2.7 x 11.0 m)
	HEIGHT	42 ft (12.8 m)
	SLOPE	0.25 in 12 (1.2 degrees)
MIN 3 FT (1M) CONTINUOUS PARAPET		Y
	SURFACE ROUGHNESS	B
SITE PROPERTIES	WIND SPEED	124 MPH
	TROPICAL CYCLONE PRONE REGION	NO
WIND PRESSURES	ZONE 1 PRIME	-
	ZONE 1	56 PSF (2.7 KPA)
	ZONE 2	74 PSF (3.5 KPA)
WIND UPLIFT RATINGS	ZONE 1	120 PSF
	ZONE 2	150 PSF
SECTION "E"	DIMENSIONS	50 x 13 ft (15.2 x 4.0 m)
	HEIGHT	30ft (9.1 m)
	SLOPE	0.25 in 12 (1.2 degrees)
MIN 3 FT (1M) CONTINUOUS PARAPET		Y
	SURFACE ROUGHNESS	B
SITE PROPERTIES	WIND SPEED	124 MPH
	TROPICAL CYCLONE PRONE REGION	NO
WIND PRESSURES	ZONE 1 PRIME	-
	ZONE 1	51 PSF (2.4 KPA)
	ZONE 2	67 PSF (3.2 KPA)
WIND UPLIFT RATINGS	ZONE 1	105 PSF
	ZONE 2	150 PSF
SECTION "F"	DIMENSIONS	18 x 13 ft (5.5 x 4.0 m)
	HEIGHT	42 ft (12.8 m)
	SLOPE	0.25 in 12 (1.2 degrees)
MIN 3 FT (1M) CONTINUOUS PARAPET		Y
	SURFACE ROUGHNESS	B
SITE PROPERTIES	WIND SPEED	124 MPH
	TROPICAL CYCLONE PRONE REGION	NO
WIND PRESSURES	ZONE 1 PRIME	-
	ZONE 1	56 PSF (2.7 KPA)
	ZONE 2	74 PSF (3.5 KPA)
WIND UPLIFT RATINGS	ZONE 1	120 PSF
	ZONE 2	150 PSF
SECTION "G"	DIMENSIONS	20 x 10 ft (6.1 x 3.0 m)
	HEIGHT	42 ft (12.8 m)
	SLOPE	0.25 in 12 (1.2 degrees)
MIN 3 FT (1M) CONTINUOUS PARAPET		Y
	SURFACE ROUGHNESS	B
SITE PROPERTIES	WIND SPEED	124 MPH
	TROPICAL CYCLONE PRONE REGION	NO
WIND PRESSURES	ZONE 1 PRIME	-
	ZONE 1	56 PSF (2.7 KPA)
	ZONE 2	74 PSF (3.5 KPA)
WIND UPLIFT RATINGS	ZONE 1	120 PSF
	ZONE 2	150 PSF
SECTION "H"	DIMENSIONS	10 x 48 ft (3.0 x 14.6 m)
	HEIGHT	30 ft (9.1 m)
	SLOPE	0.25 in 12 (1.2 degrees)
MIN 3 FT (1M) CONTINUOUS PARAPET		Y
	SURFACE ROUGHNESS	B
SITE PROPERTIES	WIND SPEED	124 MPH
	TROPICAL CYCLONE PRONE REGION	NO
WIND PRESSURES	ZONE 1 PRIME	-
	ZONE 1	51 PSF (2.4 KPA)
	ZONE 2	67 PSF (3.2 KPA)
WIND UPLIFT RATINGS	ZONE 1	105 PSF
	ZONE 2	150 PSF



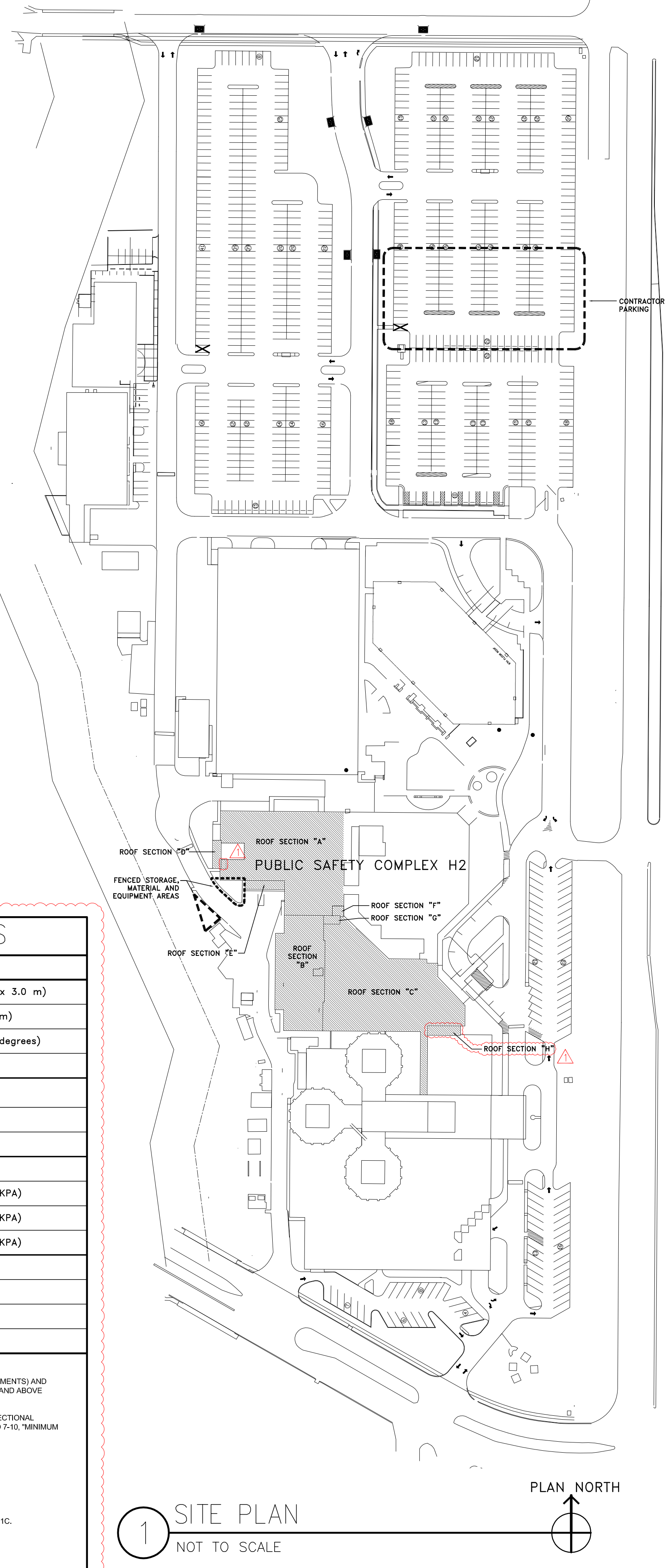
7 DESIGN WIND LOADS DIAGRAMS
NOT TO SCALE

6 WIND-LOAD ANALYSIS		
ROOF AREA PROPERTIES	DIMENSIONS	50 x 13 ft (15.2 x 4.0 m)
	HEIGHT	30ft (9.1 m)
	SLOPE	0.25 in 12 (1.2 degrees)
MIN 3 FT (1M) CONTINUOUS PARAPET		Y
	SURFACE ROUGHNESS	B
SITE PROPERTIES	WIND SPEED	124 MPH
	TROPICAL CYCLONE PRONE REGION	NO
WIND PRESSURES	ZONE 1 PRIME	-
	ZONE 1	51 PSF (2.4 KPA)
	ZONE 2	67 PSF (3.2 KPA)
WIND UPLIFT RATINGS	ZONE 1	105 PSF
	ZONE 2	150 PSF
SECTION "E"	DIMENSIONS	18 x 13 ft (5.5 x 4.0 m)
	HEIGHT	42 ft (12.8 m)
	SLOPE	0.25 in 12 (1.2 degrees)
MIN 3 FT (1M) CONTINUOUS PARAPET		Y
	SURFACE ROUGHNESS	B
SITE PROPERTIES	WIND SPEED	124 MPH
	TROPICAL CYCLONE PRONE REGION	NO
WIND PRESSURES	ZONE 1 PRIME	-
	ZONE 1	56 PSF (2.7 KPA)
	ZONE 2	74 PSF (3.5 KPA)
WIND UPLIFT RATINGS	ZONE 1	120 PSF
	ZONE 2	150 PSF
SECTION "F"	DIMENSIONS	20 x 10 ft (6.1 x 3.0 m)
	HEIGHT	42 ft (12.8 m)
	SLOPE	0.25 in 12 (1.2 degrees)
MIN 3 FT (1M) CONTINUOUS PARAPET		Y
	SURFACE ROUGHNESS	B
SITE PROPERTIES	WIND SPEED	124 MPH
	TROPICAL CYCLONE PRONE REGION	NO
WIND PRESSURES	ZONE 1 PRIME	-
	ZONE 1	56 PSF (2.7 KPA)
	ZONE 2	74 PSF (3.5 KPA)
WIND UPLIFT RATINGS	ZONE 1	120 PSF
	ZONE 2	150 PSF
SECTION "G"	DIMENSIONS	20 x 10 ft (6.1 x 3.0 m)
	HEIGHT	42 ft (12.8 m)
	SLOPE	0.25 in 12 (1.2 degrees)
MIN 3 FT (1M) CONTINUOUS PARAPET		Y
	SURFACE ROUGHNESS	B
SITE PROPERTIES	WIND SPEED	124 MPH
	TROPICAL CYCLONE PRONE REGION	NO
WIND PRESSURES	ZONE 1 PRIME	-
	ZONE 1	56 PSF (2.7 KPA)
	ZONE 2	74 PSF (3.5 KPA)
WIND UPLIFT RATINGS	ZONE 1	120 PSF
	ZONE 2	150 PSF
SECTION "H"	DIMENSIONS	10 x 48 ft (3.0 x 14.6 m)
	HEIGHT	30 ft (9.1 m)
	SLOPE	0.25 in 12 (1.2 degrees)
MIN 3 FT (1M) CONTINUOUS PARAPET		Y
	SURFACE ROUGHNESS	B
SITE PROPERTIES	WIND SPEED	124 MPH
	TROPICAL CYCLONE PRONE REGION	NO
WIND PRESSURES	ZONE 1 PRIME	-
	ZONE 1	51 PSF (2.4 KPA)
	ZONE 2	67 PSF (3.2 KPA)
WIND UPLIFT RATINGS	ZONE 1	105 PSF
	ZONE 2	150 PSF

6 WIND-LOAD ANALYSIS		
ROOF AREA PROPERTIES	DIMENSIONS	10 x 48 ft (3.0 x 14.6 m)
	HEIGHT	30 ft (9.1 m)
	SLOPE	0.25 in 12 (1.2 degrees)
MIN 3 FT (1M) CONTINUOUS PARAPET		Y
	SURFACE ROUGHNESS	B
SITE PROPERTIES	WIND SPEED	124 MPH
	TROPICAL CYCLONE PRONE REGION	NO
WIND PRESSURES	ZONE 1 PRIME	-
	ZONE 1	51 PSF (2.4 KPA)
	ZONE 2	67 PSF (3.2 KPA)
WIND UPLIFT RATINGS	ZONE 1	105 PSF
	ZONE 2	150 PSF

NOTES:

- ALL ROOF SYSTEMS TO COMPLY WITH IBC 2015 - SECTION 1603.1 (GENERAL REQUIREMENTS) AND SECTION 1603.1.4 (WIND DESIGN DATA). FM GLOBAL 1-29 - ROOF DECK SECUREMENT AND ABOVE ROOF DECK COMPONENTS FOR 1-105 WIND UPLIFT.
- DESIGN WIND LOADS ARE DERIVED USING WIND LOADS ON BUILDINGS - MWFRS (DIRECTIONAL PROCEDURE) FROM THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) STANDARD 7-10, "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES."
- ALL DESIGN WIND LOADS ARE DETERMINED USING THE FOLLOWING INFORMATION:
 -MEAN ROOF (FEET): 30'-0"
 -ROOF SLOPE: FLAT: 1-1/2:12 OR LESS
 -PARAPETS: YES
 -BUILDING CONFIGURATION: ENCLOSED
 -EXPOSURE: B
 -RISK CATEGORY: II
 -BASIC WIND SPEED (3 SECOND PEAK GUST, MPH): 124 FROM ASCE 7-10, FIGURE 26.5-1C.
 -ROOF DECK: EXISTING ROOF
 -ROOF COVERING TYPE: ELASTOMERIC ROOF COATING



1 SITE PLAN
NOT TO SCALE

2. SCOPE OF WORK:

- THIS PROJECT CONSISTS OF THE REMOVAL OF LOOSE GRAVEL FROM EXISTING BUILT-UP ROOF AND DEMOLITION OF ABANDONED MECHANICAL EQUIPMENT.
- INSTALLATION OF NEW SPRAY POLYURETHANE FOAM AND TWO COATS OF SILICONE RUBBER PROTECTIVE COATING.
- INSTALLATION OF PREFINISHED FORMED GALVALUME PARAPET COPING AND EXPANSION JOINT COVERS (ADDITIVE ALTERNATE NO. 1.)

3. GENERAL NOTES:

- ANY AND ALL "PLUS OR MINUS" DIMENSIONS SHOWN ARE TO BE VERIFIED BY THE CONTRACTOR.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. IF CONDITIONS ARE NOT AS INDICATED NOTIFY THE ARCHITECT.
- DO NOT SCALE DRAWINGS
- ALL WORK SHALL COMPLY WITH CURRENT EDITIONS OF ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES
- WORK AREA SHALL BE CLEAN AT ALL TIMES AND DEBRIS SHALL BE REMOVED IMMEDIATELY.
- CONTRACTOR SHALL MAINTAIN PROJECT RECORD DOCUMENTS SHOWING CHANGES IN THE DRAWINGS, & DEVIATIONS IN EXISTING CONDITIONS. DOCUMENTS TO BE SUBMITTED TO THE ARCHITECT AT COMPLETION OF THE PROJECT.
- CONTRACTOR TO VERIFY EXISTING CONCRETE DECK IS LEVEL.
- SUMPS, CRICKETS AND SADDLES TO SLOPE 1/2" PER FOOT, TYP.
- ON METAL EQUIPMENT TO REMAIN, CONTRACTOR IS TO REMOVE ALL RUST, PRIME AND REGALVANIZE
- ALL NEW AND EXISTING EDGE NAILERS TO BE MIN. OF 6" NOMINAL.
- CONTRACTOR TO VERIFY ALL EXISTING ROOF DRAIN STRAINERS ARE METAL. ANY EXISTING NON-METAL ROOF DRAIN STRAINERS ARE TO BE REPLACED WITH METAL STRAINERS. ALL EXISTING ROOF DRAIN CLAMPING RINGS AND HARDWARE TO BE REPLACED.

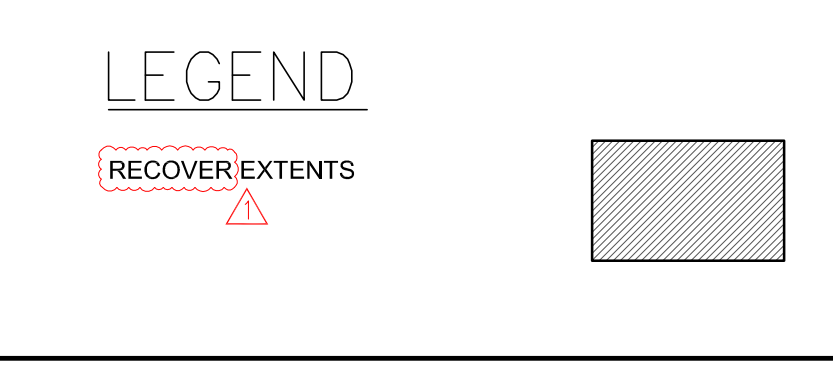
4. DEMOLITION / PROJECT NOTES:

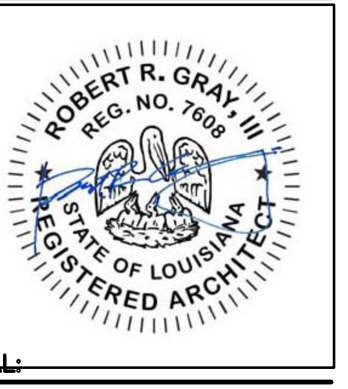
- DEMOLITION WORK SHALL INCLUDE ANY AND ALL WORK REQUIRED TO ACCOMPLISH THE WORK SHOWN OR REQUIRED BY THE CONSTRUCTION DOCUMENTS.
- ALL REPAIRS, MODIFICATIONS, PATCHES, ETC. SHALL BE MADE FLUSH WITH EXISTING SURFACES AND SHALL MATCH TEXTURES, WOOD SPECIES, METAL TYPE, COLOR AND FINISHES UNLESS OTHERWISE NOTED.
- REPAIR ANY DAMAGE INCURRED DURING DEMOLITION OR CONSTRUCTION TO EXISTING SURFACES OR EQUIPMENT AS REQUIRED.
- CONTRACTOR SHALL KEEP WORK AREA CLEAN AT ALL TIMES AND REMOVE ALL CONSTRUCTION DEBRIS FROM THE SITE AND DISPOSE OF IT IN A TIMELY AND APPROPRIATE LEGAL MANNER. USE MAGNETS TO PICK UP ANY NAILS OR METAL DEBRIS DAILY.
- ALL MATERIALS REMOVED DURING DEMOLITION SHALL BE REMOVED FROM SITE BY CONTRACTOR UNLESS NOTED FOR REUSE OR RETURN TO USER AGENCY.
- USER AGENCY SHALL HAVE FIRST RIGHT OF REFUSAL FOR ALL ITEMS BEING REMOVED. COORDINATE WITH USER AGENCY & ARCHITECTURAL SERVICES PRIOR TO DEMOLITION.
- PROTECT ALL ITEMS TO REMAIN FROM DAMAGE. REPAIR OR REPLACE ANY DAMAGED OR BROKEN ITEMS.
- REMOVE ALL EXISTING ABANDONED OR NON-USED ROOF PENETRATIONS/EQUIPMENT AND PLACE SPECIFIED SHEET METAL OVER EXISTING CURB.
- RESECURE, REMOVE OR REATTACH ANY UNSECURED OR LOOSE ITEMS THAT ARE TO REMAIN.
- ELECTRICAL WORK REQUIRED SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES, AS WELL AS ALL CURRENT STANDARDS AND PRACTICES AS REQUIRED BY NEC, ANSI, IBC, IEEE AND UTILITY COMPANY STANDARDS.
- PROVIDE CRICKETS ON THE HIGH SIDE OF ALL CURBS AND EQUIPMENT THAT MAY IMPEDE WATER RUNOFF.
- PRIME ALL SURFACES OF METALS THAT WILL BE EMBEDDED IN THE ROOFING SYSTEM.

5. SQUARE FOOTAGE:

THE SQUARE FOOTAGE INDICATED IS APPROXIMATE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE ACTUAL SQUARE FOOTAGE IN THE FIELD FOR PRICING AND MATERIAL QUANTITIES.

TOTAL ROOF AREA: ±50,297 SF





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**ROOF PLAN
AND DETAILS**

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November 14, 2024

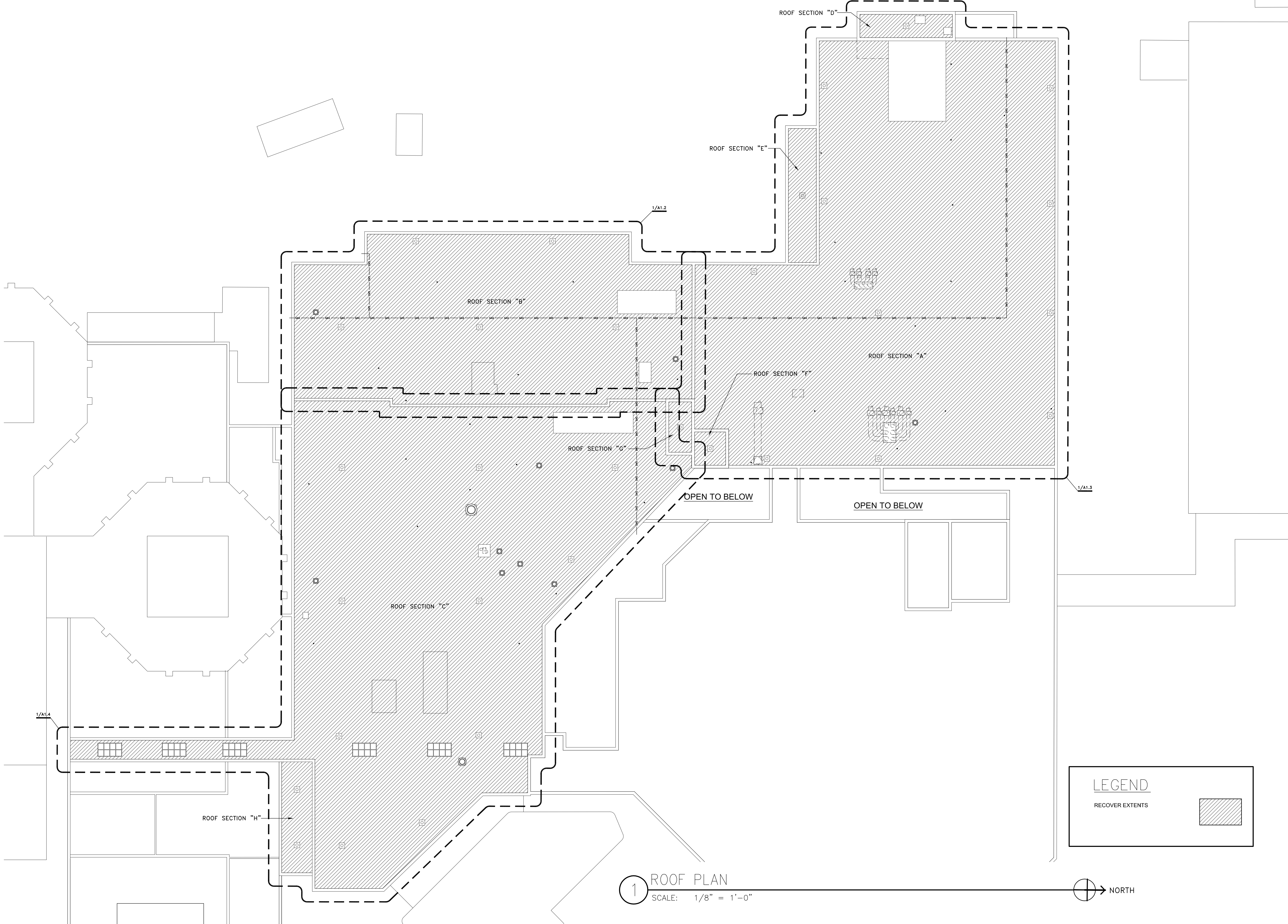
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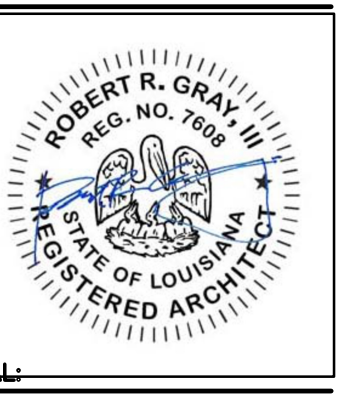
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1 ROOF PLAN
SCALE: 1/8" = 1'-0"

LEGEND
RECOVER EXTENTS



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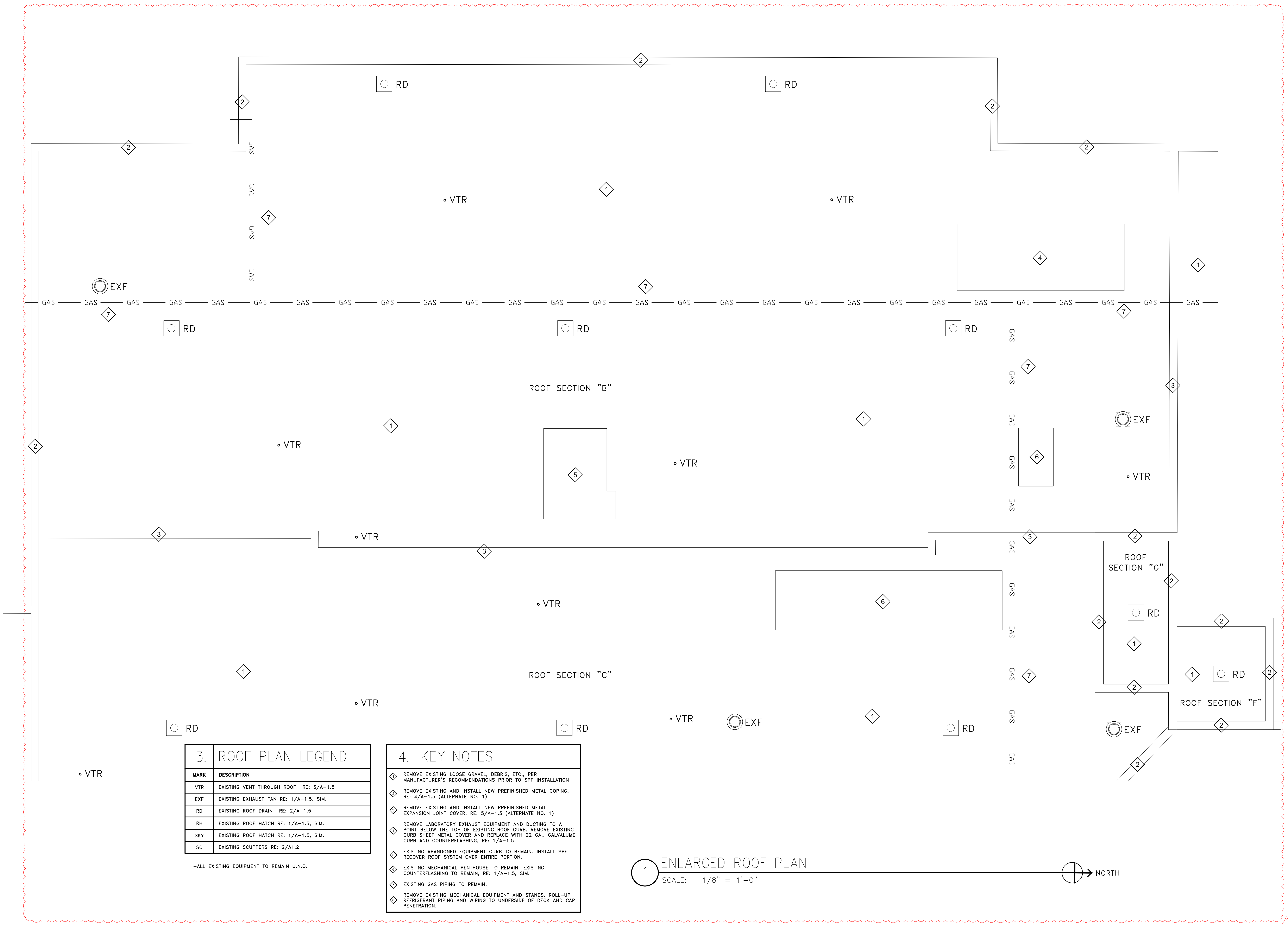
ROOF PLAN AND DETAILS

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CHK: DRAWN:
FILE NAME:

DATE: 15 Oct 2024
TITLE:

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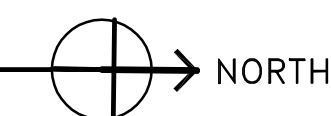


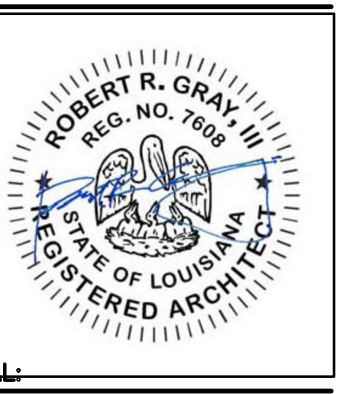
3. ROOF PLAN LEGEND	
MARK	DESCRIPTION
VTR	EXISTING VENT THROUGH ROOF RE: 3/A-1.5
EXF	EXISTING EXHAUST FAN RE: 1/A-1.5, SIM.
RD	EXISTING ROOF DRAIN RE: 2/A-1.5
RH	EXISTING ROOF HATCH RE: 1/A-1.5, SIM.
SKY	EXISTING ROOF HATCH RE: 1/A-1.5, SIM.
SC	EXISTING SCUPPERS RE: 2/A1.2

-ALL EXISTING EQUIPMENT TO REMAIN U.N.O.

4. KEY NOTES	
◇	REMOVE EXISTING LOOSE GRAVEL, DEBRIS, ETC., PER MANUFACTURER'S RECOMMENDATIONS PRIOR TO SPF INSTALLATION
◇	REMOVE EXISTING AND INSTALL NEW PREFINISHED METAL COPING, RE: 4/A-1.5 (ALTERNATE NO. 1)
◇	REMOVE EXISTING AND INSTALL NEW PREFINISHED METAL EXPANSION JOINT COVER, RE: 5/A-1.5 (ALTERNATE NO. 1)
◇	REMOVE LABORATORY EXHAUST EQUIPMENT AND DUCTING TO A POINT BELOW THE TOP OF EXISTING ROOF CURB. REMOVE EXISTING CURB SHEET METAL COVER AND REPLACE WITH 22 GA., GALVALUME CURB AND COUNTERFLASHING, RE: 1/A-1.5
◇	EXISTING ABANDONED EQUIPMENT CURB TO REMAIN. INSTALL SPF RECOVER ROOF SYSTEM OVER ENTIRE PORTION.
◇	EXISTING MECHANICAL PENTHOUSE TO REMAIN. EXISTING COUNTERFLASHING TO REMAIN, RE: 1/A-1.5, SIM.
◇	EXISTING GAS PIPING TO REMAIN.
◇	REMOVE EXISTING MECHANICAL EQUIPMENT AND STANDS. ROLL-UP REFRIGERANT PIPING AND WIRING TO UNDERSIDE OF DECK AND CAP PENETRATION.

1 ENLARGED ROOF PLAN
SCALE: 1/8" = 1'-0"





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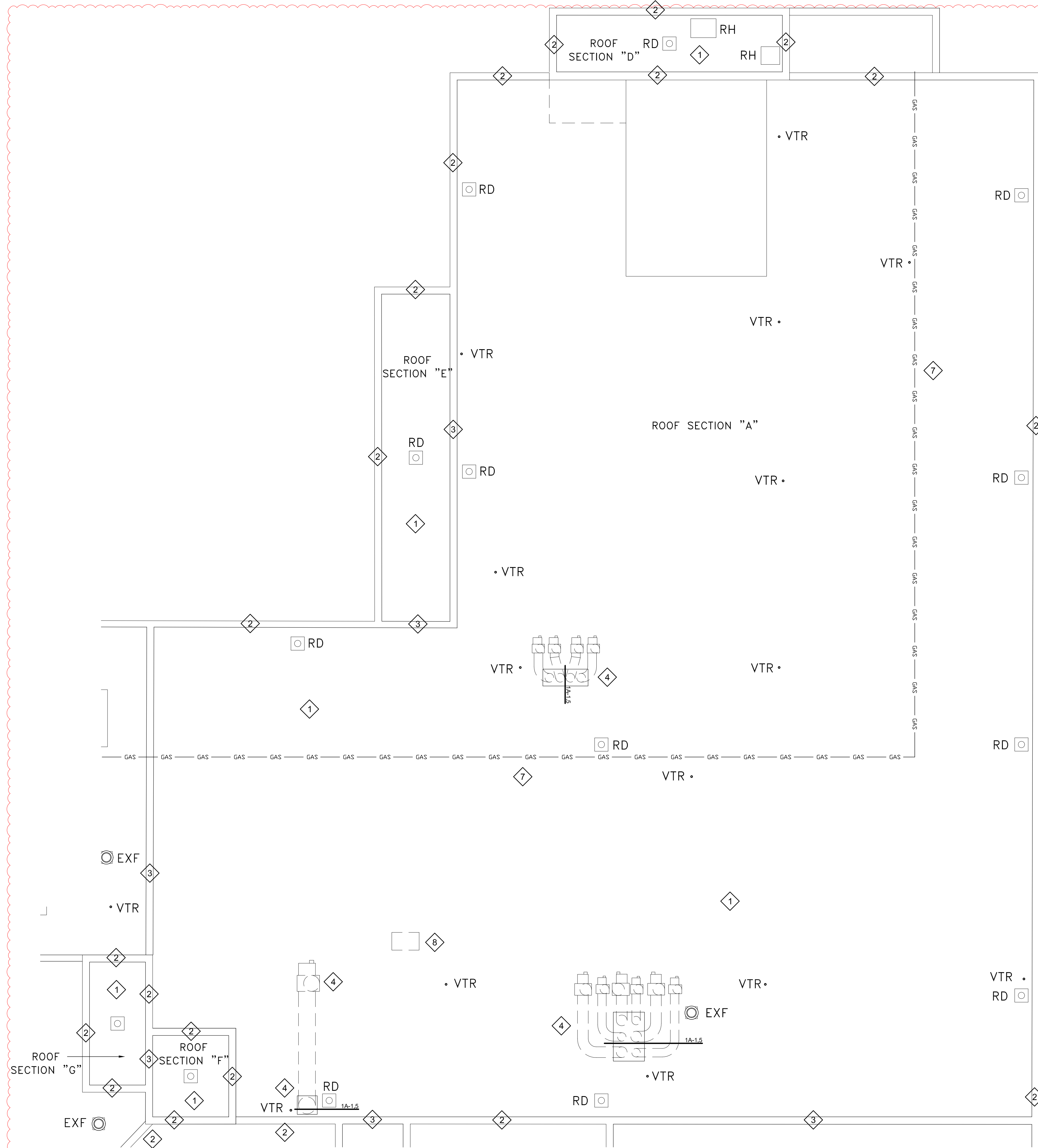
ROOF PLAN AND DETAILS

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DATE: 15 Oct 2024
TITLE:

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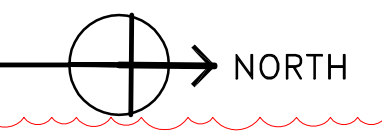


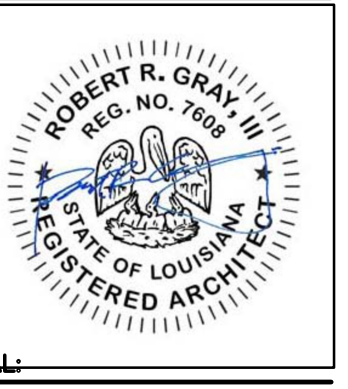
1 ENLARGED ROOF PLAN
SCALE: 1/8" = 1'-0"

3. ROOF PLAN LEGEND	
MARK	DESCRIPTION
VTR	EXISTING VENT THROUGH ROOF RE: 3/A-1.5
EXF	EXISTING EXHAUST FAN RE: 1/A-1.5, SIM.
RD	EXISTING ROOF DRAIN RE: 2/A-1.5
RH	EXISTING ROOF HATCH RE: 1/A-1.5, SIM.
SKY	EXISTING ROOF HATCH RE: 1/A-1.5, SIM.
SC	EXISTING SCUPPERS RE: 2/A1.2

-ALL EXISTING EQUIPMENT TO REMAIN U.N.O.

4. KEY NOTES	
◇	REMOVE EXISTING LOOSE GRAVEL, DEBRIS, ETC., PER MANUFACTURER'S RECOMMENDATIONS PRIOR TO SPF INSTALLATION
◇	REMOVE EXISTING AND INSTALL NEW PREFINISHED METAL COPING, RE: 4/A-1.5 (ALTERNATE NO. 1)
◇	REMOVE EXISTING AND INSTALL NEW PREFINISHED METAL EXPANSION JOINT COVER, RE: 5/A-1.5 (ALTERNATE NO. 1)
◇	REMOVE LABORATORY EXHAUST EQUIPMENT AND DUCTING TO A POINT BELOW THE TOP OF EXISTING ROOF CURB. REMOVE EXISTING CURB SHEET METAL COVER AND REPLACE WITH 22 GA., GALVALUME CURB AND COUNTERFLASHING, RE: 1/A-1.5
◇	EXISTING ABANDONED EQUIPMENT CURB TO REMAIN. INSTALL SPF RECOVER ROOF SYSTEM OVER ENTIRE PORTION.
◇	EXISTING MECHANICAL PENTHOUSE TO REMAIN. EXISTING COUNTERFLASHING TO REMAIN, RE: 1/A-1.5, SIM.
◇	EXISTING GAS PIPING TO REMAIN.
◇	REMOVE EXISTING MECHANICAL EQUIPMENT AND STANDS. ROLL-UP REFRIGERANT PIPING AND WIRING TO UNDERSIDE OF DECK AND CAP PENETRATION.





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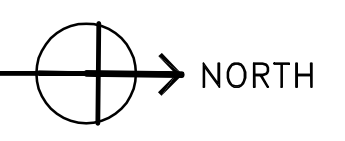


3. ROOF PLAN LEGEND	
MARK	DESCRIPTION
VTR	EXISTING VENT THROUGH ROOF RE: 3/A-1.5
EXF	EXISTING EXHAUST FAN RE: 1/A-1.5, SIM.
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RH	EXISTING ROOF HATCH RE: 1/A-1.5, SIM.
SKY	EXISTING ROOF HATCH RE: 1/A-1.5, SIM.
SC	EXISTING SCUPPERS RE: 2/A1.2

-ALL EXISTING EQUIPMENT TO REMAIN U.N.O.

4. KEY NOTES	
◆	REMOVE EXISTING LOOSE GRAVEL, DEBRIS, ETC., PER MANUFACTURER'S RECOMMENDATIONS PRIOR TO SPF INSTALLATION
◆	REMOVE EXISTING AND INSTALL NEW PREFINISHED METAL COPING, RE: 4/A-1.5 (ALTERNATE NO. 1)
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◆	EXISTING ABANDONED EQUIPMENT CURB TO REMAIN. INSTALL SPF RECOVER ROOF SYSTEM OVER ENTIRE PORTION.
◆	EXISTING MECHANICAL PENTHOUSE TO REMAIN. EXISTING COUNTERFLASHING TO REMAIN, RE: 1/A-1.5, SIM.
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1 ENLARGED ROOF PLAN
SCALE: 1/8" = 1'-0"



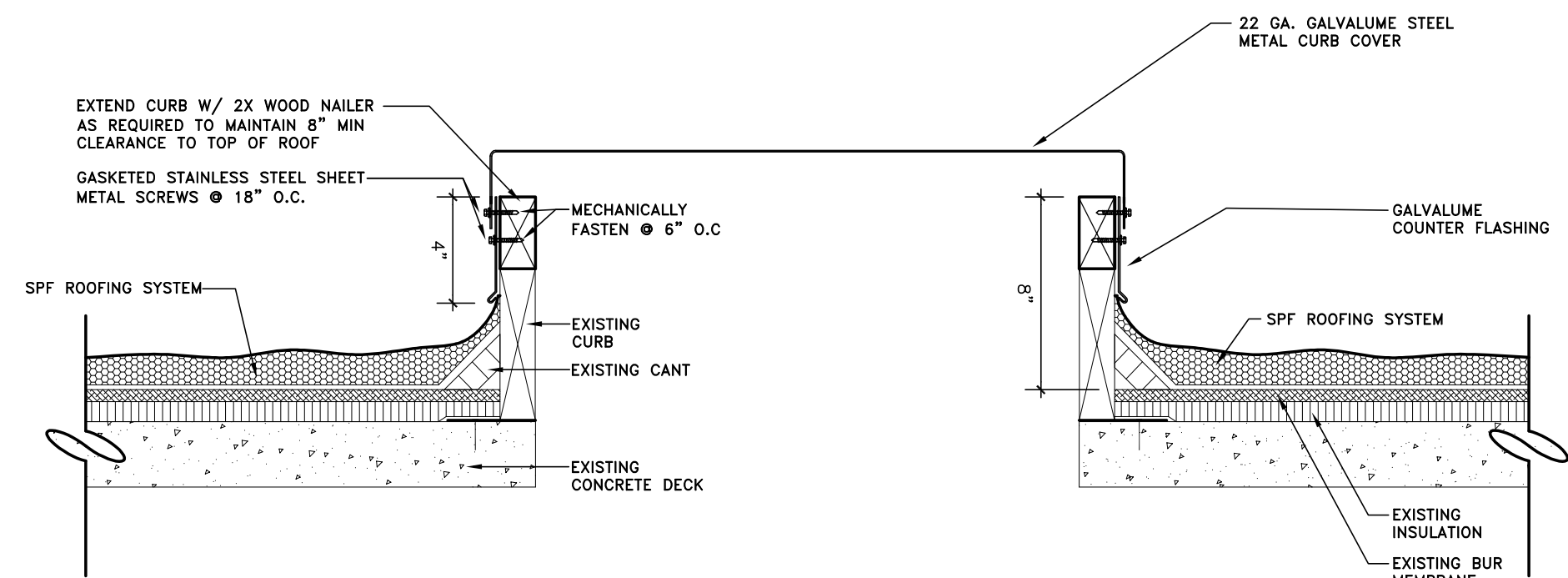
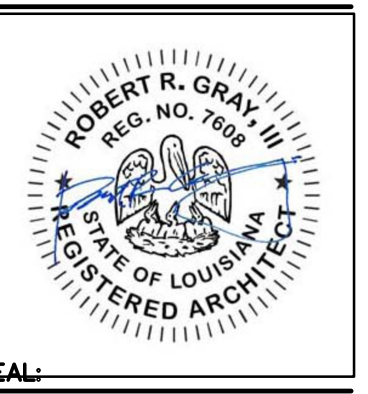
ROOF PLAN AND DETAILS

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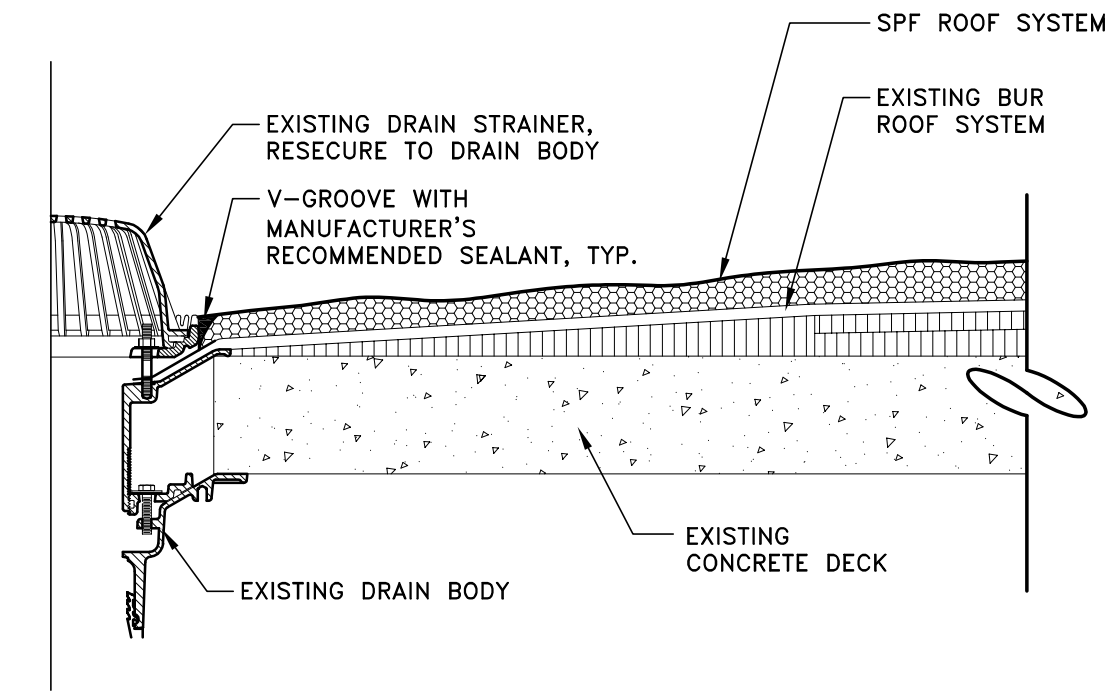
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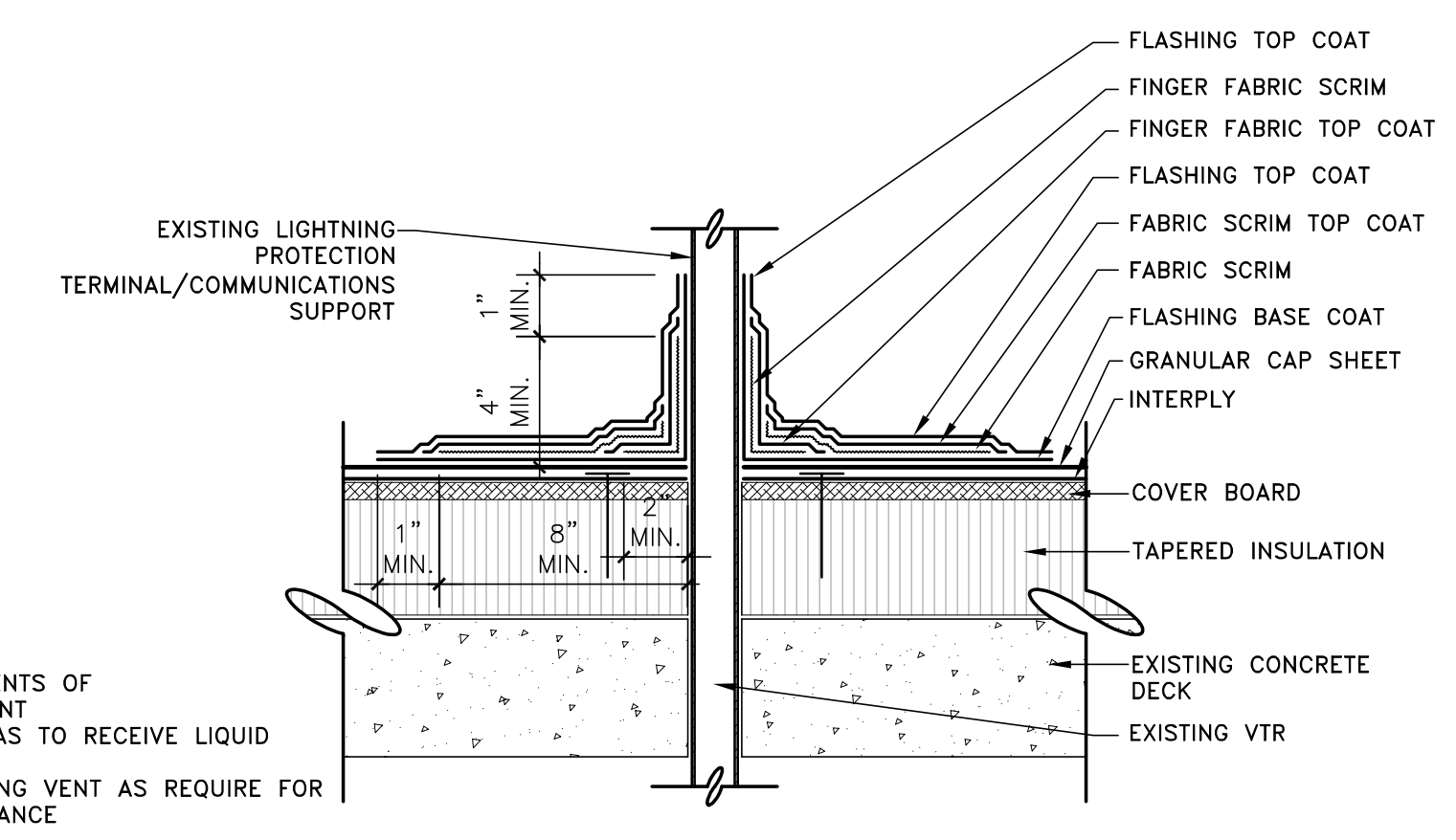
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1 ABANDONED EQUIPMENT CURB DETAIL
1 1/2" = 1'-0"

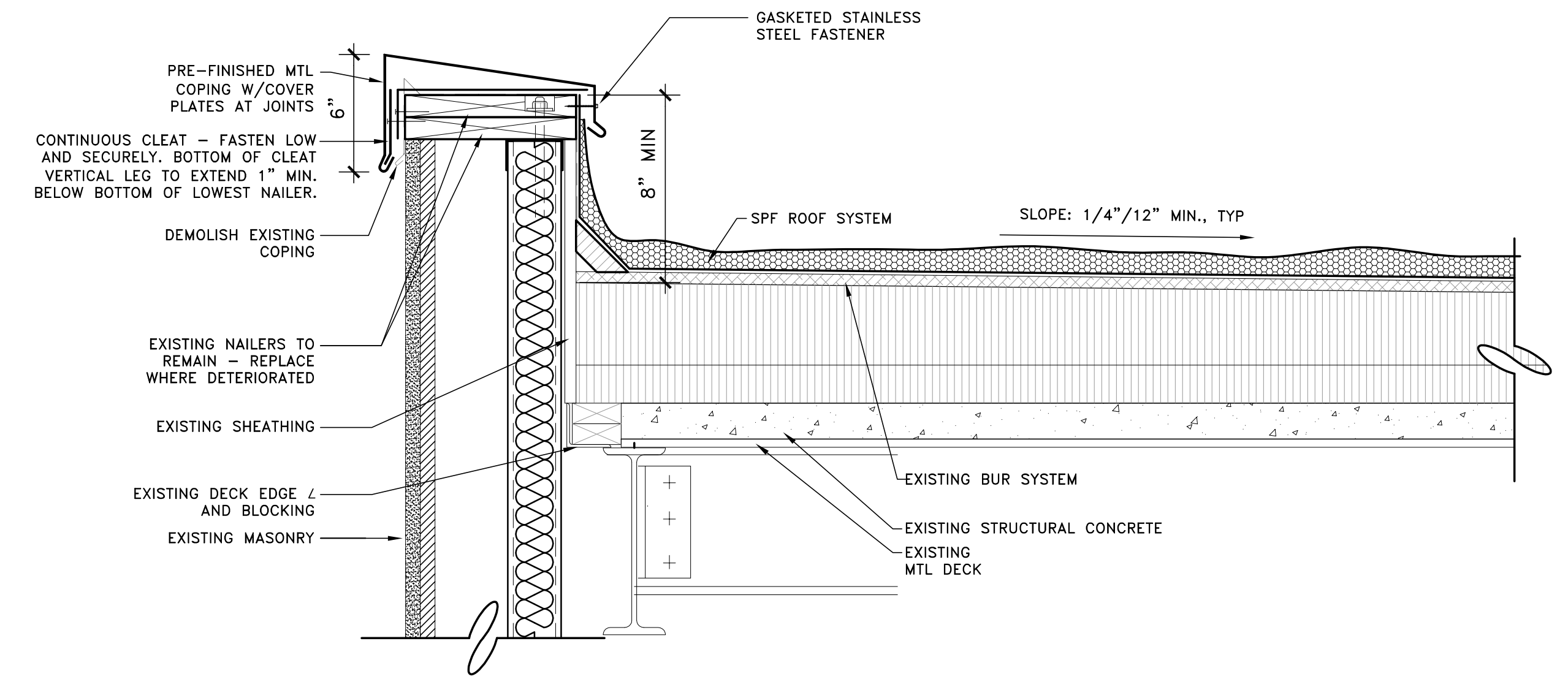


2 ROOF DRAIN DETAIL
1 1/2" = 1'-0"

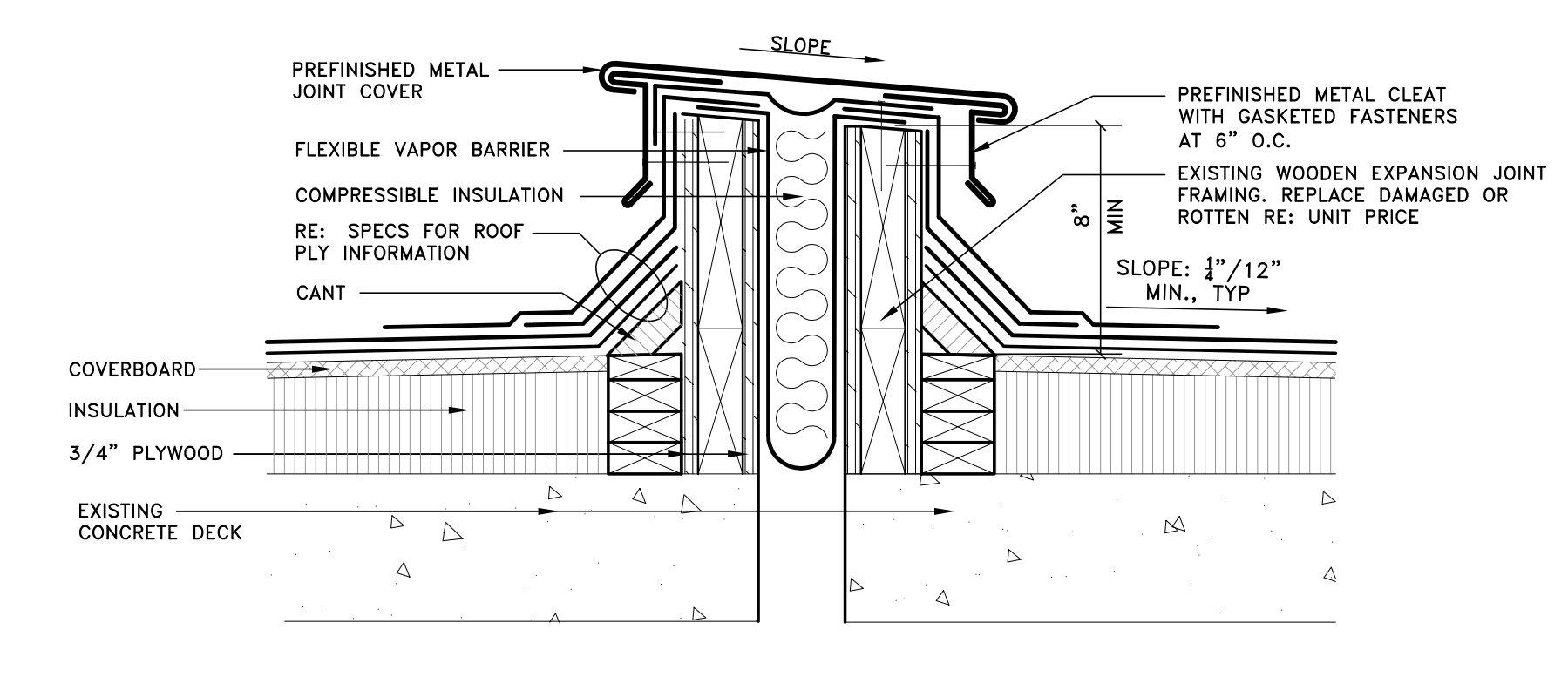


- NOTES:
1. MASK OFF EXTENTS OF FLASHING CEMENT
2. PRIME ALL AREAS TO RECEIVE LIQUID MEMBRANE
3. EXTEND PLUMBING VENT AS REQUIRED FOR MINIMUM CLEARANCE

3 VENT THROUGH ROOF DETAIL
1 1/2" = 1'-0"



4 PARAPET DETAIL
1 1/2" = 1'-0"



5 EXPANSION JOINT DETAIL
1 1/2" = 1'-0"

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