



Department of Building & Grounds  
Architectural Services Division

City of Baton Rouge  
Parish of East Baton Rouge

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Baton Rouge, Louisiana 70821  
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**ADDENDUM #1**

**October 31, 2024**

**TO ALL BIDDERS**

**PROJECT: CITY HALL SECURITY UPGRADES (RESTART)  
CITY PARISH PROJECT NO. 21-ASC-CP-1557**

The following revisions shall be incorporated in and take precedence over any conflicting part of the original contract documents.

1. Clarification: Bidders must include in their bids all sales and/or use taxes on materials, supplies and equipment to be furnished for use on the project.
2. Clarification: Attached are examples of Certified Payroll Reports for reference.
3. Project Manual, Notice to Contractors, 2<sup>nd</sup> page, 1<sup>st</sup> paragraph: delete **“EBE goal of 7% of the contract amount”**, substitute **“EBE goal of 15% of the contract amount”**
4. See attached Addendum prepared by Mougeot Architecture, LLC and dated October 28, 2024 (36 pages).

The following revisions shall be incorporated in and take precedence over any conflicting part of the original contract documents.

**TOTAL PAGES .....39 (INCLUDING THIS PAGE)**

**FAILURE TO INDICATE RECEIPT OF THIS ADDENDUM ON BID FORM MAY BE CAUSE FOR THE BID TO BE REJECTED**

Rob Gray, AIA, LEED AP BD+C, Interim Chief Architect  
Architectural Services Division  
1100 Laurel Street, Rm. 227  
Baton Rouge, LA 70802

# Certified Payroll Transcript

PR #1

Period: 1/30/2023 - 2/5/2023

Job: PSC H2 BUILDING RENOVATION FOR VETERAN'S AFFAIRS

Contract: 21-ASC-CP-1558

-----Hours-----												***** Weekly Totals ***** (Week Ending 2/5/23)		
Employee	Sun	Mon	Tue	Wed	Thu	Fri	Sat	Total	Rate	Project Amounts	Total Gross	Deductions	Net Pay	
M/EX: M/1 Race/Sex: B/M Non Union Operator EEO: Check #: 0209231	Regular Time	0.00	0.00	0.00	0.00	0.00	8.00	0.00	8.00	22.000	176.00	Federal Withholding	17.00	
	Cash Fringe	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.350	2.80	Social Security	43.65	
											0.00	Medicare	10.21	
											0.00	Additional Medicare T		
											0.00	Louisiana Withholding	19.07	
											<b>178.80</b>	Other		
												<b>704.00</b>	<b>89.93</b>	<b>614.07</b>
M/EX: M/0 Race/Sex: W/M Non Union Pipefitter EEO: Check #: 0209231	Regular Time	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	29.000	0.00	Federal Withholding	67.00	
											0.00	Social Security	71.92	
											0.00	Medicare	16.82	
											0.00	Additional Medicare T		
											0.00	Louisiana Withholding	38.12	
											<b>0.00</b>	<b>1,210.00</b>	<b>193.86</b>	<b>1,016.14</b>
M/EX: S/0 Race/Sex: B/M Non Union Laborer EEO: Check #: 0209231	Regular Time	0.00	0.00	0.00	0.00	0.00	8.00	0.00	8.00	20.000	160.00	Federal Withholding	21.00	
	Cash Fringe	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.840	22.72	Social Security	29.76	
											0.00	Medicare	6.96	
											0.00	Additional Medicare T		
											0.00	Louisiana Withholding	11.23	
											<b>182.72</b>	Other	159.38	
												<b>480.00</b>	<b>228.33</b>	<b>251.67</b>
-----Hours-----												***** Weekly Totals ***** (Week Ending 2/5/23)		
Job Totals (Hours)	Sun	Mon	Tue	Wed	Thu	Fri	Sat	Total	Rate	Project Amounts	Total Gross	Deductions	Net Pay	
Regular Time	0.00	0.00	0.00	0.00	0.00	16.00	0.00	16.00		336.00	Federal Withholding	105.00		
Cash Fringe	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		25.52	Social Security	145.33		
											0.00	Medicare	33.99	
											0.00	Additional Medicare T		
											0.00	Louisiana Withholding	68.42	
											<b>361.52</b>	Other	159.38	
												<b>2,394.00</b>	<b>512.12</b>	<b>1,881.88</b>

Date 5/17/2023

I, \_\_\_\_\_  
(Name of Signatory Party) (Title)

do hereby state:

(1) That I pay or supervise the payment of the persons employed by

\_\_\_\_\_  
(Contractor or Subcontractor)  
on the  
**PSC H2 BLDG RENOVATIONS FOR VETERAN'S AFFAIRS** ;  
(Building or Work)

that during the payroll period commencing on the 30  
day of January, 2023, and ending the 5 day of  
February, 2023,

all persons employed on said project have been paid the full weekly wages earned, that no rebates have been or will be made either directly or indirectly to or on behalf of said

\_\_\_\_\_  
(Contractor or Subcontractor)  
from the full weekly wages earned by any person and that no deductions have been made either directly or indirectly from the full wages earned by any person, other than permissible deductions as defined in Regulations, Part 3 (29 CFR Subtitle A), issued by the Secretary of Labor under the Copeland Act, as amended (48 Stat. 948, 63 Stat. 108, 72 Stat. 967; 76 Stat. 357; 40 U.S.C. §3145), and described below:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

(2) That any payrolls otherwise under this contract required to be submitted for the above period are correct and complete; that the wage rates for laborers or mechanics contained therein are not less than the applicable wage rates contained in any wage determination incorporated into the contract; that the classifications set forth therein for each laborer or mechanic conform with the work he performed.

(3) That any apprentices employed in the above period are duly registered in a bona fide apprenticeship program registered with a State apprenticeship agency recognized by the Bureau of Apprenticeship and Training, United States Department of Labor, or if no such recognized agency exists in a State, are registered with the Bureau of Apprenticeship and Training, United States Department of Labor.

(4) That:

(a) WHERE FRINGE BENEFITS ARE PAID TO APPROVED PLANS, FUNDS, OR PROGRAMS

- In addition to the basic hourly wage rates paid to each laborer or mechanic listed in the above referenced payroll, payments of fringe benefits as listed in the contract have been or will be made to appropriate programs for the benefit of such employees, except as noted in Section 4(c) below.

(b) WHERE FRINGE BENEFITS ARE PAID IN CASH

- Each laborer or mechanic listed in the above referenced payroll has been paid, as indicated on the payroll, an amount not less than the sum of the applicable basic hourly wage rate plus the amount of the required fringe benefits as listed in the contract, except as noted in Section 4(c) below.

(c) EXCEPTIONS

EXCEPTION (CRAFT)	EXPLANATION
REMARKS:	

NAME AND TITLE	SIGNATURE

THE WILLFUL FALSIFICATION OF ANY OF THE ABOVE STATEMENTS MAY SUBJECT THE CONTRACTOR OR SUBCONTRACTOR TO CIVIL OR CRIMINAL PROSECUTION. SEE SECTION 1001 OF TITLE 18 AND SECTION 231 OF TITLE 31 OF THE UNITED STATES CODE.



## ADDENDUM NO.1

Project Name: CITY HALL SECURITY UPGRADES  
Project Location: 222 St. Louis Street, Baton Rouge, LA 70802  
Project Number: 21-ASD-CP-1513  
Date Prepared: October 28, 2024

### TO ALL CONTRACTORS:

This Addendum is hereby made a part of the Contract Documents and modifies drawings and/or specifications dated 09/28/23.

The following items shall be considered part of the contract documents and shall be included in the same when Construction Contract is executed. Changes made by Addenda shall take precedence over Original Documents. Any changes which may affect construction or proper installation of materials, equipment, or fixtures, not specifically mentioned in this addendum, shall be brought to the attention of the Designer before submitting the bid. Otherwise, such conditions, if found later to exist, must be worked out in an acceptable manner without additional cost to the Owner. Prime Contractors are hereby advised to draw the attention of all subcontractors to changes which may affect their work.

### GENERAL COMMENTS:

1. The Project Numbers on all Drawing Sheets and Specifications should reflect the new project number included on the city-provided Front ends and cover sheet. The Project number for this project is 21-ASC-CP-1557.
2. The Project Drawings include Notes and Titles that refer to Additive Alternates 1 & 2, but all work is to be provided under the Base Bid.
3. The Project Drawings are being re-issued with this addendum to remove references to Additive Alternates and to make other adjustments to the project requirements.
4. There is existing security equipment that is currently located within the lobby of City Hall that may or may not be used as part of this project. The contractor is required to include temporary relocation and re-installation of this equipment in the base bid as required to either make this equipment conform to the layouts included in the drawings or as required to install new equipment that conforms to the layouts included. The project does not require the contractor to relocate this existing equipment off-site or require off-site storage of this existing equipment.
5. All Dimensions are required to be field verified and coordinated with manufacturers and fabricators prior to shop drawings submittals.
6. There are (3) pairs of doors at the ground floor front entry that are to remain. (2) pairs of doors are to receive new mag-lock access controls provided by others. The base bid of this project is required to include electrical circuit, wiring and wiremold trim as required to provide electrical circuits at the (2) pairs of doors receiving the new access controls.
7. All new doors being provided at the third floor are each to be provided with an electrical circuit for access control (see note 9b)
8. Wire mold:
  - a. All wiring and cabling are to be run in wiremold surface mounted over existing finishes where not otherwise able to be concealed without disturbing existing materials and finishes.
  - b. All wire mold wall and ceiling trim / raceways provided are to be paintable. All such trim is to be painted as part of the base bid to match adjacent finishes. All paint colors are to be custom matched as selected by the architect for each application.
  - c. Floor Outlets and wire mold indicated on Electrical Drawings are to be field located under equipment and furniture as required to conceal it. Coordinate actual required lengths with architect prior to work.
9. Provide electrical and data at new permanent guard station (detail 1/A5.02)
  - a. Run power and data in wire mold from walls, across ceiling and down new 4" tube steel columns.
  - b. Provide power/data for new monitor (note 11, detail 11/A5.02)
  - c. Provide (2) quad power and quad data receptacles at each side of the built-in desk permanent wall panels (note 19, detail 11/A5.02)

### 10. SHEET A2.20

- a. **Include the following note #4 under interior signage notes:** PROVIDE 12" HALO-LIT DIMENSIONAL LETTERS AT LVL 3 ENTRANCE TO MAYOR-PRESIDENT'S OFFICE. DEMO EXISTING LIT SIGNAGE AND CONNECT NEW SIGNAGE TO EXISTING CIRCUIT. (also see attached spec section 10 14 00 - Signage)

**11. SHEET A2.21**

- a. **As stated above. All references to Additive Alternates should be ignored. All work is to be provided under the Base Bid.**
- b. **The Suspended Ceiling Tile and Grid system in the Mayor's Office is being replaced under the base bid. All Existing ceiling fixtures are to be carefully secured prior to demolition and protected from damage. All existing fixtures are to be re-installed in the new ceiling. The contractor is to provide all work and materials required for re-installation. Field verify and coordinate Height of existing ceiling & match.**
- c. **Provide New 12" Tall Halo-Lit Dimensional Letter Signage above new storefront on exterior of Mayor's Office to read "MAYOR PRESIDENT"** (also see attached spec section 10 14 00 - Signage)
- d. **Add Note to "THIRD FLOOR RENOVATION NOTES": NEW DIMENSIONAL LETTERS: DEMO EXISTING WALL SIGNAGE LIGHTING & PROVIDE NEW HALO-LIT DIMENSIONAL LETTERS ATTACHED TO NEW PANEL SYSTEM w/ CONCEALED WIRING CONNECTED TO EXISTING LIGHTING WIRING & CIRCUIT. PROVIDE ALL CONTROLS, POWER ADAPTERS / TRANSFORMERS AS REQUIRED FOR INSTALLATION & COORDINATE w/ PANEL SYSTEM MFR AS REQUIRED TO ENSURE ALL CLEARANCES FOR INSTALLATION.** (also (see attached spec section 10 14 00 - Signage)

**12. SHEET A5.02:**

- a. **Overall dimensions for the half-wall at the Metal Detector Entrance are approximately 20LF. All dimensions are required to be field verified and coordinated by Shop Drawing prior to wall fabrication.**

**13. SPECIFICATIONS**

- a. **Disregard all references to Additive Alternates. All Work is being provided under the Base Bid.**
- b. **Disregard all references to demolition of specific elements not present in this project (Board Room, Storm Drain Protection, Gas Meter Relocation and Sewer and Water Line Adjustments).**
- c. **Disregard all references to BRPD Training Academy.**
- d. **Section 08 56 53 – Security Windows:** There are (4) 3070 new ballistic Level 3 single doors and (1) pair of 3'-0" doors custom-sized to match the existing ceiling height (between 8'-6" and 9'-0") to be included in the base bid.
  - i. **All doors are to be full-glazed, Level 3 Ballistic Rating with Narrow Stiles**
  - ii. **All doors are to be provided with manufacturer's recommended door hardware including Electric Latch Retraction (ELR) hardware to be tied-in to owner's access control and fire alarm systems.**
  - iii. **The pair of doors is to have one semi-operable leaf usually locked, exit only with concealed rods (no center mullion). The other operable leaf is to be operated by access control system.**
  - iv. **All of these doors are to be provided with electric circuit, wiring and wiremold trim as required by electrical contractor under the base bid. All wiring should be concealed above ACT ceilings, behind new wood wall panel system, and otherwise concealed where possible.**
  - v. **All existing rough opening sizes are to be field verified and coordinated with the ballistic storefront manufacturer prior to submitting shop drawings, and as required to ensure proper fit. All trim, brake metal, sealants, anchors, etc. are to be provided as required by the ballistic storefront manufacturer to maintain the indicated ballistic rating. Include all required accessories & trim in shop drawing submittal.**
- e. **Add Section 10 14 00 – Signage (attached)**

END OF ADDENDUM NO. 1



MOUGEOT ARCHITECTURE

10343 Siegen Lane, Building 7, Suite A  
Baton Rouge, Louisiana 70810-4981

**ATTACHMENTS:**

- 1. Pre-Bid Meeting Minutes & Sign-in Sheet**
- 2. Spec Section 10 14 00 – Signage**
- 3. Revised Project Drawings (FULL SET)**

## PRE-BID CONFERENCE MEETING MINUTES

Project Name: City of Baton Rouge – City Hall Security Upgrades  
Project Location: Baton Rouge, LA  
Project No.: 21-ASD-CP-1513  
MA Project No.: 23012

A Pre-Bid Conference was held on Wednesday, October 23<sup>rd</sup>, 2024, at 10:00 AM.

### GENERAL COMMENTS:

- Non-Mandatory Pre-Bid Conference began at 10:00 AM at the project site.
  - The meeting concluded at 11:00 AM.
- Order of events:
  - Sign-In Sheet passed around (attached)
  - General Review of the project
  - Review of RFI procedures
    - All RFI's to be sent to Mougeot Architecture (MA)
    - MA will forward to respective parties (i.e., owner, engineer, etc.)
  - Addenda Question Cut-off: October 29, 2024, at 2:00 PM.
  - MA ran through the project scope by floor
  - TLA ran through the electrical scope
- Use of Premises:
  - Full access. May need to give some heads up beforehand for certain offices.
  - Dumpster Location: Not yet determined – possibly locate in the limestone parking lot across the street.
- No freight elevators available
- No smoking allowed; badges / radios not required
- Work Hours:
  - Monday – Saturday 7:00 AM – Sunset
    - Saturday access will need to be coordinated with the building maintenance team.
  - Possibly expanding hours are available. Will be determined at the pre-construction meeting.
- Bid Opening:
  - November 5<sup>th</sup>, 2024, at 2:00 PM
  - Budget will be disclosed at opening, not before.
- No unit price / allowance in project
- There are 180 construction days for the project with Liquidated Damages in the amount of \$700 per day
- Phasing:
  - 3<sup>rd</sup> floor and 8<sup>th</sup> floor
  - Will need to hammer out the details of this at the pre-construction meeting
  - The Mayor's Office (3<sup>rd</sup> floor) will need coordination before work begins.
- Progress Meetings:
  - Monthly meetings required
  - Weekly check-ins by owner and/or architect
- Superintendent is required to be on-site when work is going on.
- No asbestos present in the building. GC to notify owner/architect if they suspect asbestos.

- Review of the State Fire Marshal's office and local permitting is not required for this project.
- Started walk-thru of building at 10:26 AM
- G.C.'s are welcome to go back and tour building on their own time.

**QUESTIONS:**

1. Are there any prevailing wages in the project?
  - a. No Davis Bacon
  - b. Requirement for certified payroll report. Submit to owner at construction start. Subs will be required to submit as well. If the sub is on work and has to take a pause between work when they are not on site, they are still required to submit for those days/weeks.

**END OF MEETING MINUTES**

Respectfully submitted,

  
Kimberly Rusk Assoc., AIA



**ARCHITECTURAL SERVICES DIVISION  
CITY OF BATON ROUGE-PARISH OF EAST BATON ROUGE  
DEPARTMENT OF BUILDINGS AND GROUNDS**

## **PRE-BID CONFERENCE AGENDA**

Project Name ..... City Hall Security Upgrades  
222 St. Louis St., Baton Rouge, LA 70802  
Project Number..... 21-ASC-CP-1557  
Date..... October 23, 2024  
Location ..... City Hall 1<sup>st</sup> Floor Lobby  
Time ..... 10:00 AM

**1. Introductions:**

- a. User Agency
- b. Owner's Representative
- c. Project Team
  - 1) Architect
  - 2) Engineers

**2. Sign-In Sheet:**

**3. Scope of Work:**

- a. Installation of entry lobby security desk and controls, camera system throughout the entire building.

**4. Communications:**

- a. Information requests
- b. Substitutions/prior approvals – none as of yet. Cut off date is tentatively 1400, Tuesday, 29 Oct 24

**5. Use of Premises:**

- a. Project location, contractor workers entrances and access to site
- b. Use of facilities, utilities, elevators, etc.
- c. Contractor parking, staging, dumpster location – determined today, issued via addendum
- d. Conduct of workers - no smoking, radios, badges – refer to specification section 01 0000.1.09 and 1.10
- e. Interim life safety measures, security
- f. Expected working hours, shutdown requests – 0700-Sunset, M-Sat

**6. Bidding Procedure:**

- a. Bid Date: 1400, Tuesday, November 5, 2024
- b. Base Bid and Alternates – No alternates
- c. Bid Documents : Available for online download from Central Auction House
- d. Budget Amount will be noted at the Bid Opening
- e. Unit prices and allowances - none
- f. Contract time – 180 days
- g. Liquidated Damages - \$700/day

- h. License: Building Construction
- i. Construction scheduling and phasing
- j. Special issues related to the project
- k. Addenda issued – will be posted to Central Auction House

**7. Project Meetings and Inspections:**

- a. Pre-construction Conference
- b. Progress meetings

**8. Misc. Items:**

- a. Project superintendent and project manager – bid documents (GP 4.1.3) require superintendent on site at all times work is being performed
- b. Asbestos, lead abatement, hazardous materials
- c. Permitting, State Fire Marshal reviews and exemptions, Board of Health (if applies)
- d. Coordination of special equipment, delivery dates

**9. Anticipated addenda items:**

- Move any references to electrical work in architectural drawings to electrical drawings
- Power and data to Guard Station
- Issue Pre-Bid Meeting Minutes

**10. Work by User Agency:**

- ?

**11. Any other business/Questions:**

**12. Review of site/project location:**



MOUGEOT ARCHITECTURE  
 10343 Siegen Lane, Building 7, Suite A  
 Baton Rouge, Louisiana 70810-4981

PRE-BID MEETING ATTENDANCE LIST

Date & Time: Wednesday, October 23, 2024, at 10:00 AM  
 Project: City Hall Security Upgrades  
 Project No.: 21-ASC-CP-1513  
 MA Project No.: 23012  
 Architect: David Mougeot, Mougeot Architecture, LLC

NAME	ORGANIZATION	LICENSE NO.	TELEPHONE	EMAIL
Kimberly Rusk	Mougeot Architecture		225-767-1717	krusk@mougeotarchitecture.com
Jason Norris	J W Grand	9569	225 767-3724	Bids@jwgrand.com
Justin Smith	Devmitte Const.	43152	225-769-2948	jsmith@devmitte.com
PATRICK DAUGHETY	SIENNA CONSTRUCTION, LLC	43263	225-456-5466	bids@siennaconstruction.net
ROB GRAY	BUDGET CREATIONS ARCH. SERVICES DIV.		(225) 729-4694	rgray@brk.gov
Brett Fontenot	Arkel Constructors	17893	225-344-1023	brett.f@arkelconstructors.com
Sammy Lewis	Capita/Arce Const	60664	225-439-7625	capita/arce3@gmail.com
Scott Wilson	M A Wilson Const.	61901	225 931 9264	msscottwilson2003@yahoo.com

## SECTION 10 14 00 - SIGNAGE

### PART 1 GENERAL

#### 1.01 SECTION INCLUDES

- A. Signage plaques.
- B. Pedestal Floor Signs
- C. Dimensional Letters

#### 1.02 REFERENCE STANDARDS

- A. 36 CFR 1191 - Americans with Disabilities Act (ADA) Accessibility Guidelines for Buildings and Facilities; Architectural Barriers Act (ABA) Accessibility Guidelines current edition.
- B. ADA Standards - 2010 ADA Standards for Accessible Design 2010.
- C. ICC A117.1 - Accessible and Usable Buildings and Facilities 2017.
- D. NFPA 170 - Standard for Fire Safety and Emergency Symbols 2021.

#### 1.03 SUBMITTALS

- A. See Section 01 30 00 - Administrative Requirements, for submittal procedures.
- B. Product Data: Manufacturer's printed product literature for each type of sign, indicating sign styles, font, foreground and background colors, locations, overall dimensions of each sign.
- C. Signage Schedule: Provide information sufficient to completely define each sign for fabrication, including room number, room name, other text to be applied, sign and letter sizes, fonts, and colors. Coordinate with architect through Shop Drawing process to finalize room and council member names, wall graphic artwork and all color and finish selections.
  - 1. When room numbers to appear on signs differ from those on drawings, include the drawing room number on schedule.
  - 2. When content of signs is indicated to be determined later, request such information from Owner through Architect at least 2 months prior to start of fabrication; upon request, submit preliminary schedule.
  - 3. Submit for approval by Owner through Architect prior to fabrication.
- D. Samples:
  - 1. Signage Plaques: Submit (3) samples of each type of sign, of size similar to that required for project, illustrating sign style, font, and method of attachment.
  - 2. Dimensional Letters: Submit (1) Full-sized Dimensional Letter, upper-case "C", of each size indicated. Provide min power source / controls as required to demonstrate lighting.
- E. Manufacturer's Installation Instructions: Include installation templates and attachment devices.
- F. Manufacturer's Qualification Statement.
- G. Maintenance Materials: Furnish the following for Owner's use in maintenance of project.
  - 1. See Section 01 60 00 - Product Requirements, for additional provisions.

#### 1.04 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing the products specified in this section with minimum three years of documented experience.

#### 1.05 DELIVERY, STORAGE, AND HANDLING

- A. Package signs as required to prevent damage before installation.
- B. Package room and door signs in sequential order of installation, labeled by floor or building.
- C. Store tape adhesive at normal room temperature.

#### 1.06 FIELD CONDITIONS

- A. Do not install tape adhesive when ambient temperature is lower than recommended by manufacturer.
- B. Maintain this minimum temperature during and after installation of signs.

## **PART 2 PRODUCTS**

### **2.01 MANUFACTURERS**

#### **A. Signage Plaques:**

1. Cosco Industries (ADA signs); ADA Series 1: [www.coscoarchitecturalsigns.com](http://www.coscoarchitecturalsigns.com)
2. Gemini; [www.geminimade.com](http://www.geminimade.com)
3. FASTSIGNS: [www.fastsigns.com/#sle](http://www.fastsigns.com/#sle).
4. ASI SIGNAGE; [www.asisignage.com](http://www.asisignage.com)
5. Substitutions: See Section 01 60 00 - Product Requirements.

#### **B. Pedestal Floor Signs:**

1. Basis of Design: Uline H-6329, 11x17 x 50" H
2. Any of the listed Manufacturers for Signage components under other headings
3. Substitutions: See Section 01 60 00 - Product Requirements.

#### **C. Dimensional Letter Signs:**

1. Gemini; [www.geminimade.com](http://www.geminimade.com)
2. FASTSIGNS: [www.fastsigns.com](http://www.fastsigns.com)
3. ASI SIGNAGE; [www.asisignage.com](http://www.asisignage.com)
4. Substitutions: See Section 01 60 00 - Product Requirements.

### **2.02 SIGNAGE APPLICATIONS**

**A. Accessibility Compliance:** Signs are required to comply with ADA Standards and ICC A117.1, unless otherwise indicated; in the event of conflicting requirements, comply with the most comprehensive and specific requirements.

**B. Signage Plaques:** Provide a sign for every doorway, whether it has a door or not, not including corridors, lobbies, and similar open areas.

1. Sign Type: Flat signs with engraved panel media as specified.
2. Provide "tactile" signage, with letters raised minimum 1/32 inch (0.8 mm) and Grade II braille.
3. Character Height: 1 inch (25 mm).
4. Sign Sizes: 12 x18 inches, unless otherwise indicated.

#### **C. Pedestal Floor Signs**

1. Heavy Duty Black Metal Pedestal Floor Signs w/ 11x17 Black Metal holder
2. Provide (8) to Owner w/ custom full-color inserts printed on min 110 lb card stock
3. Sign holder rotates from portrait to Landscape position
4. Non-glare cover protection is integral to sign

#### **D. Dimensional Letter Signs: Wall-mounted.**

1. Interior (refer to drawings for sizes, locations and substrate):
  - a. Provide all mounting hardware, lighting controls, transformers, etc, as may be required to connect to existing wall lighting circuit.
  - b. Coordinate as required with Wall Panel Hanging system manufacturer to ensure wiring chases, clearances for mounting hardware, etc are maintained.

### **2.03 SIGNAGE PLAQUES**

**A. Signage media in aluminum frame.**

1. Corners: Square.
2. Frame Finish: Black Anodized.
3. Wall Mounting of One-Sided Signs: Tape adhesive.

**B. Color and Font:** Unless otherwise indicated:

1. Character Font: Helvetica, Arial, Century Gothic ,Futura or other sans serif font.
2. Character Case: Upper case only.
3. Background Color: TBD.
4. Character Color: Contrasting color TBD.
5. Size: 12" x 18"
6. Provide (11) Signage Plaques for installation at entrance doors to designate entry / exit only, employee only entrances, etc. All Signage Labels to be coordinated w/ Owner through Shop Drawings Process. Allow full range of text combinations in the base bid.

C. TACTILE SIGNAGE MEDIA at all Signage Plaques

1. Engraved Panels: Laminated colored plastic; engraved through face to expose core as background color:
  - a. Total Thickness: 1/8 inch (3 mm).
2. Applied Character Panels: Acrylic plastic base, with applied acrylic plastic letters and braille.
  - a. Total Thickness: 1/8 inch (3 mm).
  - b. Letter Thickness: 1/8 inch (3 mm).
  - c. Letter Edges: Square.

2.04 DIMENSIONAL LETTERS

A. Metal Letters:

1. Metal: Fabricated Stainless Steel, fabricated reverse channel.
2. Metal Return Depth: 1".
3. Letter Height: 12"
4. Text and Typeface:
  - a. Character Font: Helvetica, Arial, Century Gothic Futura or other sans serif font.
  - b. Character Case: Upper case only.
  - c. "MAYOR PRESIDENT" (14 letters)
5. Finish: Brushed hairline 304, satin.
6. Mounting: Detachable Stud Mount with 1 1/2" standoff..
7. Illumination System: Halo-Lit w/ Diffused Lexan Backing, LED Color TBD from manufacturer's full range
  - a. Provide products that are listed and labeled as complying with UL 879, where applicable.
  - b. Provide products with a removeable can to allow for servicing of LEDs.
  - c. Power: Connect to existing wall lighting being removed as part of the base bid for this project. Provide all required controllers, transformers, power supplies and installation kits as required for power provided.

2.05 ACCESSORIES

- A. Concealed Screws: Stainless steel, galvanized steel, chrome plated, or other non-corroding metal.
- B. Tape Adhesive: Double sided tape, permanent adhesive.

**PART 3 EXECUTION**

3.01 EXAMINATION

- A. Verify that substrate surfaces are ready to receive work.

3.02 INSTALLATION

- A. Install in accordance with manufacturer's instructions.
- B. Install neatly, with horizontal edges level.
- C. Locate signs and mount at heights indicated on drawings and in accordance with ADA Standards and ICC A117.1.
- D. Re-install existing building plaques as directed by Architect.

E. Protect from damage until Date of Substantial Completion; repair or replace damaged items.

**END OF SECTION 10 14 00**



# CITY HALL SECURITY UPGRADES

PROJ NO: 21-ASC-CP-1557

**BATON ROUGE CITY HALL**  
**222 SAINT LOUIS STREET**  
**BATON ROUGE, LA 70802**

## CONSTRUCTION DOCUMENTS

ISSUE DATE: 10/28/24  
MA PROJECT NO.: 23012

DRAWING INDEX		
REV	SHEET	DESCRIPTION
00 - GENERAL		
00	00.01	COVER SHEET
00	00.02	PROJECT DATA
00	00.10	LIFE SAFETY
00	00.20	EXISTING CONDITIONS PHOTOS
02 - ARCHITECTURAL		
00	A1.10	SITE PLAN
00	A2.10	FLOOR KEY PLANS
00	A2.11	SECURITY COORDINATION PLANS
00	A2.20	NEW LVL. 1 ENLARGED FLOOR PLANS
00	A2.21	NEW LVL. 3 ENLARGED FLOOR PLANS, INT ELEVATIONS
00	A2.30	NEW REFLECTED CEILING PLAN
00	A5.02	NEW PLAN DETAILS
03 - ELECTRICAL		
00	E0.00	ELECTRICAL COVER SHEET
00	E1.01	1ST FLOOR SECURITY PLAN
00	E1.02	2ND FLOOR SECURITY PLAN
00	E1.03	3RD FLOOR SECURITY PLAN
00	E1.04	4TH FLOOR SECURITY PLAN
00	E1.05	5TH FLOOR SECURITY PLAN
00	E1.06	6TH FLOOR SECURITY PLAN
00	E1.07	7TH FLOOR SECURITY PLAN
00	E1.08	8TH FLOOR SECURITY PLAN
00	E1.09	9TH FLOOR SECURITY PLAN
00	E1.10	10TH FLOOR SECURITY PLAN
00	E1.B1	B1 SECURITY PLAN
00	E1.B2	B2 SECURITY PLAN

CONSTRUCTION DOCUMENTS  
10/28/24

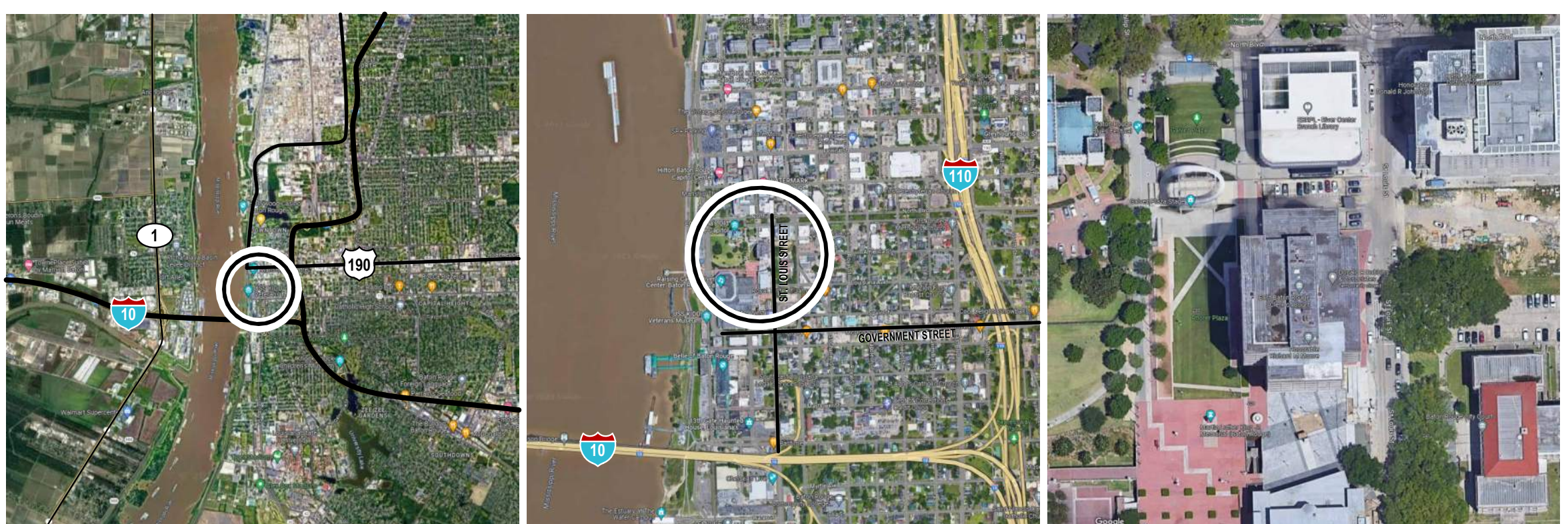


CITY HALL SECURITY UPGRADES  
21-ASC-CP-1557  
BATON ROUGE CITY HALL  
222 SAINT LOUIS STREET  
BATON ROUGE, LA 70802

MARK	REVISION	DATE
00	PROJ RESTART (BID 02)	10/28/24

COVER SHEET

00.01



### CODE CRITERIA

**BUILDING CODE**  
2021 (IBC) INTERNATIONAL BUILDING CODE  
2021 (IEBC) INTERNATIONAL EXISTING BUILDING CODE

**LIFE SAFETY CODE**  
2015 NFPA 101 LIFE SAFETY CODE

**ACCESSIBILITY CODE**  
2010 (ADAAG) ADA ACCESSIBILITY GUIDELINES

**MECHANICAL CODE**  
2021 (IMC) INTERNATIONAL MECHANICAL CODE

**ELECTRICAL CODE**  
2020 (NEC) NATIONAL ELECTRIC CODE

**NOTES:**  
1. ALL WORK TO BE PROVIDED IN ACCORDANCE WITH ALL APPLICABLE CODES & STANDARDS AS ADOPTED BY STATE, LOCAL & OTHER APPLICABLE AUTHORITIES HAVING JURISDICTION.  
2. ALL WORK SHALL COMPLY w/ RECOGNIZED INDUSTRY & TRADE STANDARDS AS APPLICABLE.  
3. ANY CONFLICTS BETWEEN CODES, STANDARDS & WORK INDICATED SHALL BE PROVIDED IN ACCORDANCE w/ THE MOST STRICT & MOST COSTLY INTERPRETATION OF THESE REQUIREMENTS.  
4. ALL TRADES ARE TO REFER TO COMPLETE SET OF CONSTRUCTION DOCUMENTS FOR FULL REQUIREMENTS AND BE RESPONSIBLE FOR THE SAME.

### DIRECTORY

**OWNER**  
CITY OF BATON ROUGE  
DEPARTMENT OF BUILDINGS & GROUNDS  
222 ST. LOUIS STREET  
7TH FLOOR, ROOM 780  
BATON ROUGE, LA 70802

**CONTACT:** SEAN JOHNSON  
smjohnson@bria.gov

**JOSEPH BUTLER, DIRECTOR**

**ARCHITECT:**  
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**POR:**  
DAVID MOUGEOT, AIA (#5890)

**CONTACT:**  
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**ELECTRICAL ENGINEER**  
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225-293-9474

**POR:**  
CONTACT: LANDON BURNS, PE  
landon@laeng.com

**SECURITY CONSULTANT**  
GERATIONS SECURITY CONSULTANTS, LLC  
BATON ROUGE, LA  
225-301-9676

**CONTACT:** ALVIN JACKSON, CEO  
ajack@gscarrivealive.com

### PROJECT DESCRIPTION:

**BASE BID:**  
1ST FLOOR: NEW SECURITY DESK & GUARD STATIONS W/ BALLISTIC RATED GLAZING, STEEL FABRICATED PONY-WALLS AT LOBBY, MOVING AND INSTALLATION OF OWNER FURNISHED SCANNER & METAL DETECTOR W/ ELECTRICAL POWER & DATA PROVISIONS FOR EQUIPMENT & STATIONS.

3RD FLOOR: NEW BALLISTIC RATED STOREFRONT & ENTRANCES, MISC ELECTRICAL & BALLISTIC-RATED WALL PANELS AT MAYOR'S OFFICE

ALL FLOORS: ELECTRICAL ROUGH-IN ON ALL FLOORS FOR SECURITY CAMERA INSTALLATION BY OWNER'S CONTRACTOR.

**ADDITIVE ALTERNATES:**  
NONE

24-1029 10:19:29 AM

1



# GENERAL NOTES

1. ALL ELEVATIONS BASED ON FIRST FLOOR ELEVATION (FFE) 0'-0".
2. DO NOT SCALE DRAWINGS, USE DIMENSIONS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF CLARIFICATION IS NECESSARY.
3. THE BUILDING AND ADJACENT AREAS WILL BE OCCUPIED DURING CONSTRUCTION.
4. CONTRACTOR MUST PROVIDE ADEQUATE WORK ZONE PROTECTION FROM UNAUTHORIZED PEDESTRIANS AND SEPARATE THE WORK AREAS WHILE MAINTAINING FULL ACCESS AND EGRESS FOR THE DURATION OF THE PROJECT.
5. THE GENERAL CONTRACTOR MUST PROVIDE NECESSARY PROTECTION TO SIDEWALKS, BUILDINGS, PROPERTY, LANDSCAPING, UTILITIES AND OTHER EQUIPMENT LOCATED ON AND ADJACENT TO THE PROJECT SITE.
6. THE GENERAL CONTRACTOR WILL BE LIABLE FOR ANY DAMAGE TO PROPERTY AND BE ASSESSED PRIOR TO FINAL ACCEPTANCE.
7. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
8. THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL TRADES PRIOR TO COMMENCEMENT, PRIOR TO APPROVING SHOP DRAWINGS, AND PRIOR TO SPECIFIC WORK BEING PERFORMED.
9. TEMPORARY BARRIERS SHALL BE PROVIDED BY THE CONTRACTOR TO SHIELD OCCUPIED AREAS FROM CONSTRUCTION DUST AND DEBRIS, EXCESSIVE OR PERSISTENT NOISE, AND AS OTHERWISE REQUIRED TO ENSURE THE OCCUPANTS ARE NOT DISTURBED.
10. ALL WORK MUST BE COORDINATED AND SCHEDULED w/ THE OWNER AND OCCUPANTS OF THIS BUILDING SO AS TO PROVIDE THE LEAST AMOUNT OF DISRUPTION OF BUILDING ACTIVITIES AS POSSIBLE. PROVIDE AT LEAST 72 HOURS NOTICE OF ANY REQUIRED DISRUPTIONS.
11. THE GENERAL CONTRACTOR SHALL NOT PERMIT TRASH OR DEBRIS TO ACCUMULATE ANY WHERE ON OR WITHIN THE VICINITY OF THE PROJECT SITE.
12. A DAILY MAINTENANCE ROUTINE TO INCLUDE FULLY "SWEEPING" THE CONSTRUCTION AREA WITH A MAGNETIC DEVICE TO ENSURE NO NAILS, SCREWS OR SIMILAR CONSTRUCTION DEBRIS. CONTRACTOR MAY BE CHARGED FOR ANY PROPERTY DAMAGE CAUSED BY FAILURE TO PERFORM DAILY MAINTENANCE.
13. ON-SITE PARKING AREAS WILL BE PROVIDED FOR A MINIMAL NUMBER OF CARS, BUT WILL BE LIMITED TO AREAS AS DETERMINED BY OWNER DURING THE PRE-CONSTRUCTION CONFERENCE. PARKING OUTSIDE THE DESIGNATED AREA OR ON OTHER AREAS OF THE SITE/STREET ARE PROHIBITED.
14. ALL CUTTING AND CHANNELING OF EXISTING BUILDING SHALL BE ACCOMPLISHED IN A NEAT AND WORKMANLIKE MANNER WITHOUT REMOVAL OF EXCESS MATERIALS.
15. PATCHING AND REPAIRS SHALL BE DONE AS REQUIRED TO ENSURE A NEAT SEAMLESS TRANSITION FROM NEW MATERIALS TO EXISTING. MATCH ALL MATERIALS, PROFILES, INSTALLATION METHODS, COLORS AND FINISHES.
16. REMOVAL OF EXISTING FIXTURES AND EQUIPMENT, ETC. WILL REQUIRE CAPPING AND SEALING EXISTING MAINS OR BRANCHES AS NECESSARY AND AS REQUIRED TO ALLOW THE REMAINING SYSTEMS TO FULLY OPERATE WITHOUT DEGRADATION.
17. RELOCATE AND RECONNECT ALL ELEMENTS THAT ARE LOCATED IN AREAS INDICATED TO RECEIVE WORK WHEN THE EXISTING LOCATIONS CONFLICT WITH THE WORK INDICATED.
18. PROVIDE ALL WORK NECESSARY TO MAINTAIN THE COMPLETE FUNCTION OF SYSTEMS CONNECTED TO ELEMENTS BEING MODIFIED AS PART OF THIS PROJECT.
19. PORTIONS OF EXISTING SYSTEMS MAY BE SHOWN FOR CLARITY EVEN THOUGH IT MAY NOT BE NECESSARY TO MODIFY OR REVISE THEM. ALL EXISTING SYSTEMS ARE SHOWN BASED ON ORIGINAL OR REMODEL BUILDINGS DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.
20. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING WALLS AND MINOR PATCHING TO ALL WALLS DIRECTLY ADJACENT TO OTHER WORK SPECIFIED IN ADDITION TO SPECIFIC PATCHING/REPAIRS NOTED.
21. ALL EXISTING WALLS THAT ARE DISTURBED AS PART OF THIS PROJECT SHALL BE REPAINTED FROM CORNER-TO-CORNER AS REQUIRED.
22. ALL DIMENSIONS ARE REQUIRED TO BE FIELD VERIFIED AND COORDINATED WITH MANUFACTURERS AND FABRICATORS PRIOR TO SHOP DRAWINGS SUBMITTALS.
23. THERE ARE (3) PAIRS OF DOORS AT THE GROUND FLOOR FRONT ENTRY THAT ARE TO REMAIN, (2) PAIRS OF DOORS ARE TO RECEIVE NEW MAG-LOCK ACCESS CONTROLS PROVIDED BY OTHERS. THE BASE BID OF THIS PROJECT IS REQUIRED TO INCLUDE ELECTRICAL CIRCUIT, WIRING AND WIREMOLD TRIM AS REQUIRED TO PROVIDE ELECTRICAL CIRCUITS AT THE (2) PAIRS OF DOORS RECEIVING THE NEW ACCESS CONTROLS.
24. ALL NEW DOORS BEING PROVIDED AT THE THIRD FLOOR ARE EACH TO BE PROVIDED WITH AN ELECTRICAL CIRCUIT FOR ACCESS CONTROL (SEE NOTE 9B).
25. EXPOSED AND CONCEALED CONDUIT:
  - a. ALL WIRING AND CABLING ARE TO BE RUN IN WIREMOLD SURFACE MOUNTED OVER EXISTING FINISHES WHERE NOT OTHERWISE ABLE TO BE CONCEALED WITHOUT DISTURBING EXISTING MATERIALS AND FINISHES.
  - b. ALL WIRE MOLD WALL AND CEILING TRIM / RACEWAYS PROVIDED ARE TO BE PAINTABLE. ALL SUCH TRIM IS TO BE PAINTED AS PART OF THE BASE BID TO MATCH ADJACENT FINISHES. ALL PAINT COLORS ARE TO BE CUSTOM MATCHED AS SELECTED BY THE ARCHITECT FOR EACH APPLICATION.
  - c. FLOOR OUTLETS AND WIRE MOLD INDICATED ON ELECTRICAL DRAWINGS ARE TO BE FIELD LOCATED UNDER EQUIPMENT AND FURNITURE AS REQUIRED TO CONCEAL IT. COORDINATE ACTUAL REQUIRED LENGTHS WITH ARCHITECT PRIOR TO WORK.
  - d.
26. PROVIDE ELECTRICAL AND DATA AT NEW PERMANENT GUARD STATION (DETAIL 11A5.02)
  - a. RUN POWER AND DATA IN WIRE MOLD FROM WALLS, ACROSS CEILING AND DOWN NEW 4" TUBE STEEL COLUMNS.
  - b. PROVIDE POWER/DATA FOR NEW MONITOR (NOTE 11, DETAIL 11A5.02)
  - c. PROVIDE (2) QUAD POWER AND QUAD DATA RECEPTACLES AT EACH SIDE OF THE BUILT-IN DESK PERMANENT WALL PANELS (NOTE 19, DETAIL 11A5.02)
  - d.
27. ALL OWNER FURNISHED EQUIPMENT IS LOCATED AT OWNERS OFFSITE STORAGE LOCATION w/in THE CITY. ALL EQUIPMENT IS TO BE MOVED AND INSTALLED AS PART OF THE BASE BID.
28. ALL FLOOR ANCHORS LOCATIONS ARE TO BE CAREFULLY LAID OUT AND CAREFULLY INSTALLED TO ENSURE MINIMAL DISTURBANCE TO THE EXISTING FLOORING. ALL ANCHORS ARE TO BE CONCEALED, REMOVABLE AND REUSABLE TO ALLOW FOR SEMI-PERMANENT DISASSEMBLY. REFER TO SPECIFICATION SECTION 05 50 00.
29. THE OWNER IS PROVIDING ALL SECURITY EQUIPMENT THROUGH ALLIED SYSTEMS UNDER A SEPARATE CONTRACT. THIS CONTRACTOR IS TO COORDINATE AS REQUIRED w/ ALLIED SYSTEMS DURING INSTALLATION. REFER TO ELECTRICAL DRAWINGS FOR REQUIREMENTS OF ASSOCIATED WORK UNDER THE BASE BID OF THIS CONTRACT.

ABBREVIATIONS	
AC	AIR CONDITION, AIR CONDITIONING
ACT	ACOUSTIC CEILING TILE, SUSPENDED CEILING TILE, CEILING TILE & GRID
AF	ABOVE FINISHED FLOOR (AS REFERENCED PROJECT ELEVATION), TOP OF FINISHED SLAB (UNLESS NOTED OTHERWISE)
AL, ALUM	ALUMINUM
AND	AND/AND
AP	APPLY APPLIED
ASK	ASPHALT SATURATED KRAFT PAPER
BY	BRICK VENEER
CJ	CONTROL JOINT
CL, CTR	CENTERLINE, CENTER
CLR, CLEAR	CLEARANCE, MINIMUM CLEARANCE, REQUIRED CLEAR DIMENSION
CMU	CONCRETE MASONRY UNIT, BLOCK MASONRY
CONC	CONCRETE
COORD	COORDINATE
D, DIA. & Ø	DIAMETER
CONC	CONCRETE
EQ	EQUAL
EXIST	EXISTING
EXT	EXTERIOR
FA	FIRE ALARM
FA	FLUID APPLIED
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FIN	FINISHED
FR	FIRE RATED, FIRE RESISTANT
FRT	FIRE RESISTANT TREATED, FIRE RESISTANT TREATED
FUT	FUTURE
GAL, GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GL, GLZ	GLASS, GLAZING
GYP, GYP	GYPSONUM PANEL
H&H, H&H	HOLLOW METAL
HVAC	HEATING, VENTILATION & AIR CONDITIONING
INSUL	INSULATION, INSULATING, INSULATE
INT	INTERIOR
LAM	LAMINATE, LAMINATED
LQD	LIQUID
LT, LIT	LIGHT, LIGHTING LIGHT FIXTURE

ABBREVIATIONS	
MAT, MATL, MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MEMB	MEMBRANE
MFR	MANUFACTURER, MANUFACTURED
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL, METALIC
NO. # NUM	NUMBER
NOT TO SCALE	NOT TO SCALE
OC	ON CENTER, SPACING
OC&W	ON CENTER EACH WAY
OH	OVERHEAD
OHE	OVERHEAD ELECTRICAL
OPP	OPPOSITE
PL	PROPERTY LINE
PRE-FIN	PRE FINISHED
PROVIDE	FURNISH & INSTALL
PT, PTD	PAINT, PAINTED
PLY, PLYWD	PLYWOOD, OSB PANEL, WOOD SHEATHING PANEL
R, RAD	RADIUS
REF	REFLECTED CEILING PLAN
REIN	REINFORCE, REINFORCING, REINFORCEMENT, REINFORCED
REQ, REQ'D	REQUIRED, REQUIRING, REQUIRES
RM	ROOM
SEC, SECT	SECTION
SF, SQ. FT.	SQUARE FOOT
SHT	SHEET
STD	STANDARD
SUS, SUSP	SUSPENDED
TEL, TELE, TELCO, TELCOM, DATA	TELEPHONE, TELECOMMUNICATIONS, TELE DATA, COMMUNICATIONS, DATA
THK, THK, THICK	THICKNESS, THICK
TYP	TYPICAL
VER	VERIFY
VOJ	VERIFY ON JOB, FIELD VERIFY, FIELD COORDINATE & NOTIFY ARCHITECT
W/O	WITHOUT
WO	WOOD
WLD	WELD, WELDED
WRB	WEATHER RESISTANT BARRIER
WWF	WELDED WIRE FABRIC
YD	YARD

LINE STYLES	MARKS	ANNOTATIONS	SYMBOLS
EXISTING TO REMAIN	SPOT ELEVATION / LEVEL MARK	DOOR TAG	NORTH ARROW (PROJECT NORTH INDICATES TOP OF SHEET / PLAN ORIENTATION)
TO BE DEMOLISHED	SECTION MARK	WINDOW TAG	STRUCTURAL GRID/ DATUM LINES
NEW CONSTRUCTION	DETAIL MARK	MISC TAG	BREAK LINE
	EXT ELEVATION MARK	MISC TAG	
	INT ELEVATION MARK	REVISION TAG	
	VIEW REFERENCE	SECURITY CAMERA	
	PHOTO MARKER	SECURITY CAMERA WALL MTD	

DIMENSION STYLES	DIMENSION NOTES
STANDARD DIMENSION	1. ALL DIMENSIONS ARE TO BE FIELD COORDINATED BY THE CONTRACTOR TO PROVIDE NECESSARY CLEARANCES AND TOLERANCES REQUIRED BY ALL TRADES FOR THE WORK INDICATED. WHERE CLEAR DIMENSIONS ARE INDICATED OR WHERE DIMENSIONS AND/OR ANNOTATIONS CALL FOR "CLEAR" OR WHERE REQUIRED BY CODE, THE CONTRACTOR IS TO COORDINATE WORK AS REQUIRED TO PROVIDE AND MAINTAIN THE REQUIRED CLEARANCES.
CLEAR DIMENSION	2. CONTRACTORS ARE NOT TO SCALE DRAWINGS. CONTACT ARCHITECT w/ ANY APPARENT CONFLICTS OR FOR MORE DETAILED INFORMATION PRIOR TO WORK.

ANNOTATION LEGEND	
1	12" = 1'-0"
?	?

CONSTRUCTION DOCUMENTS  
10/28/24

SET NO.



CITY HALL SECURITY UPGRADES  
21-ASC-CP-1557  
BATON ROUGE CITY HALL  
222 SAINT LOUIS STREET  
BATON ROUGE, LA 70802

MARK	REVISION	DATE
00	PROJ RESTART (BID 02)	10/28/24

PROJECT DATA

00.02

24-1029 10:19:31 AM

24-1029 10:19:35 AM



SET NO. CONSTRUCTION DOCUMENTS 10/28/24



CITY HALL SECURITY UPGRADES  
21-ASC-CP-1557

BATON ROUGE CITY HALL  
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BATON ROUGE, LA 70802

MA PROJECT NUMBER: 23012

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00	PROJ RESTART (BID 02)	10/28/24

LIFE SAFETY

00.10

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A

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21

KEYNOTE LEGEND	
KEY	KEYNOTE
1	EXISTING MAIN ENTRY & EXIT
2	DEMO EXISTING STOREFRONT
3	EXISTING STOREFRONT ENTRANCES TO REMAIN
4	EXISTING ATM MACHINE & ASSOCIATED ELECTRICAL TO REMAIN, PROTECT FROM DAMAGE
5	DEMO EXISTING NON-RATED SNEEZE GUARD, PROTECT ADJACENT SURFACES FROM DAMAGE
6	EXISTING MONITOR, PROTECT FROM DAMAGE
7	NO WORK
8	EXISTING FIRE ALARM PULL STATION TO REMAIN, PROTECT FROM DAMAGE & MAINTAIN ACCESS
9	EXISTING REAR (EXIT ONLY)
10	EXISTING ACCESS CONTROL DEVICE, PROTECT FROM DAMAGE & REWORK AS REQUIRED FOR NEW BALLISTIC RATED DOOR
11	EXISTING PERMANENT GUARD STATION TO REMAIN
12	EXISTING SECURITY CAMERA (PROTECT FROM DAMAGE)
13	EXISTING AUTOMATIC DOOR OPENER CONTROL DEVICE, PROTECT FROM DAMAGE
14	DEMO EXISTING AUTOMATIC DOOR OPENER CONTROL DEVICE & ASSOCIATED WIRING & ACCESSORIES, PATCH & REPAIR SURFACES AS REQUIRED TO MATCH ADJACENT MATERIALS & FINISHES
15	DEMO EXISTING SIGNAGE
16	DEMO EXISTING TRIM TO RECEIVE NEW FINISH w/ BALLISTIC-RATED INSERTS
17	EXISTING WIRE MOLD, REWORK AS REQUIRED
18	DEMO EXISTING NON-RATED SNEEZE GUARD, PROTECT ADJACENT SURFACES FROM DAMAGE

SET NO.  
CONSTRUCTION DOCUMENTS  
10/28/24



**MOULGRETT ARCHITECTURE**  
10543 Sagon Lane  
Building 7, Suite A  
Baton Rouge, LA 70809-3513  
Telephone: 225.767.1717  
www.moulgretarchitecture.com

**CITY HALL SECURITY UPGRADES  
21-ASC-CP-1557**

BATON ROUGE CITY HALL  
222 SAINT LOUIS STREET  
BATON ROUGE, LA 70802

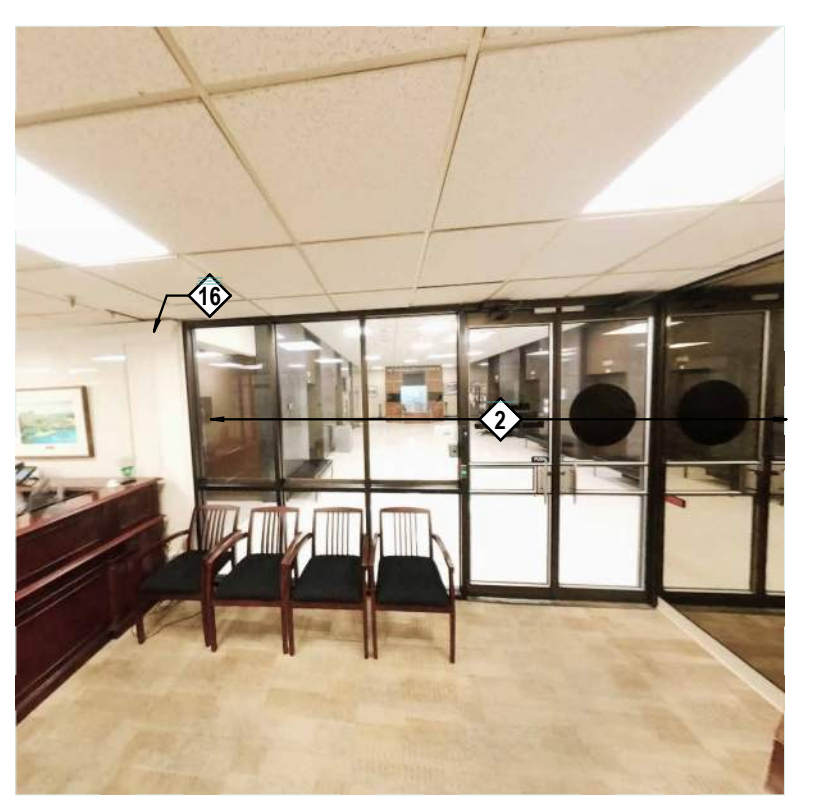
MA PROJECT NUMBER: 23012



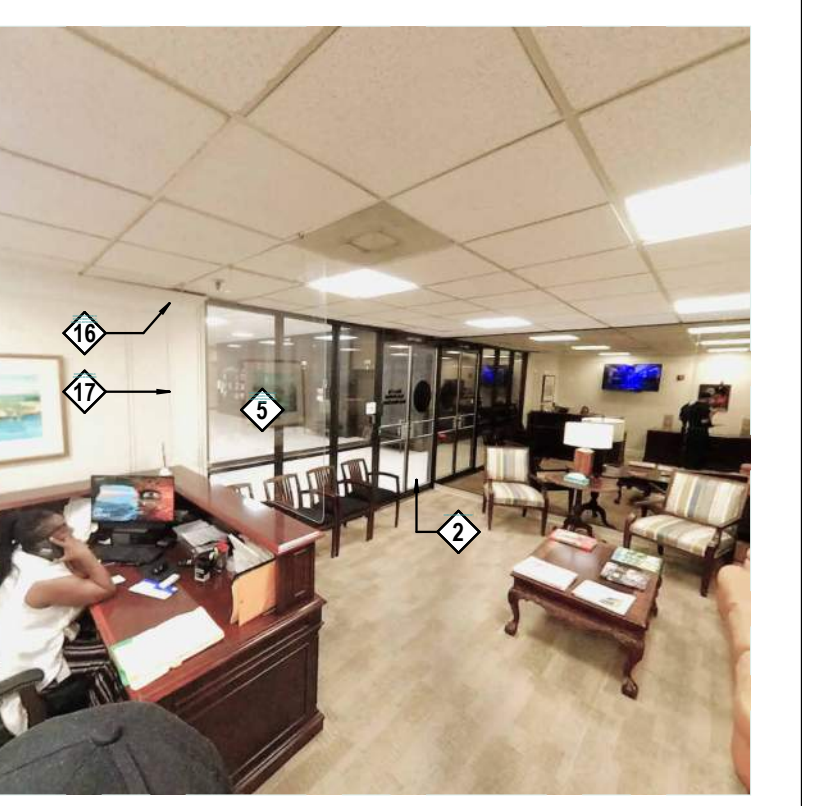
**15** EXISTING CONDITIONS  
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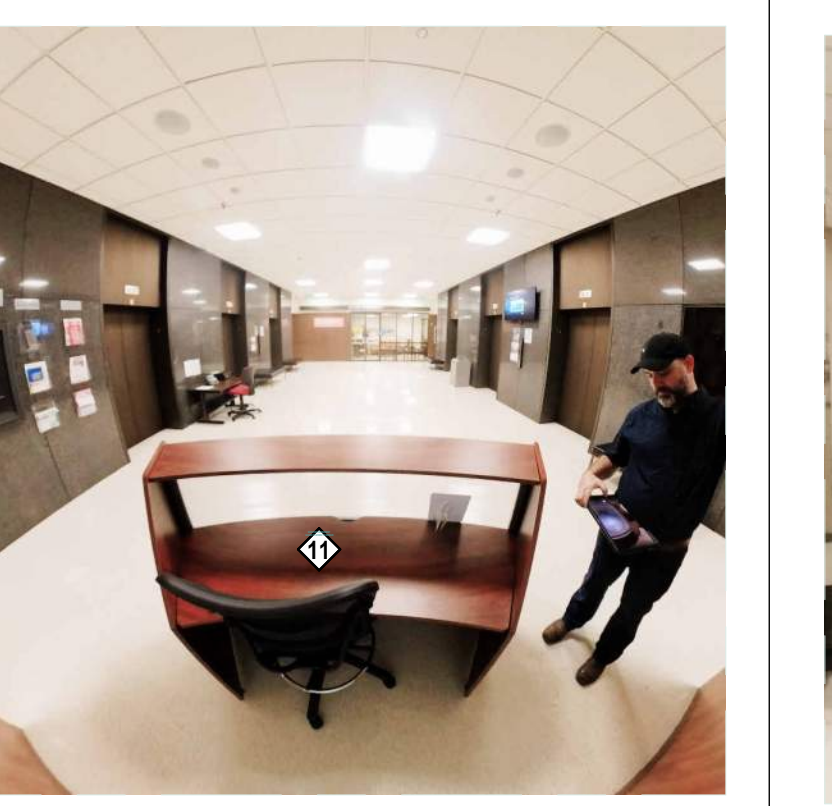
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**17** EC-01\_17  
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**18** EC-01\_18  
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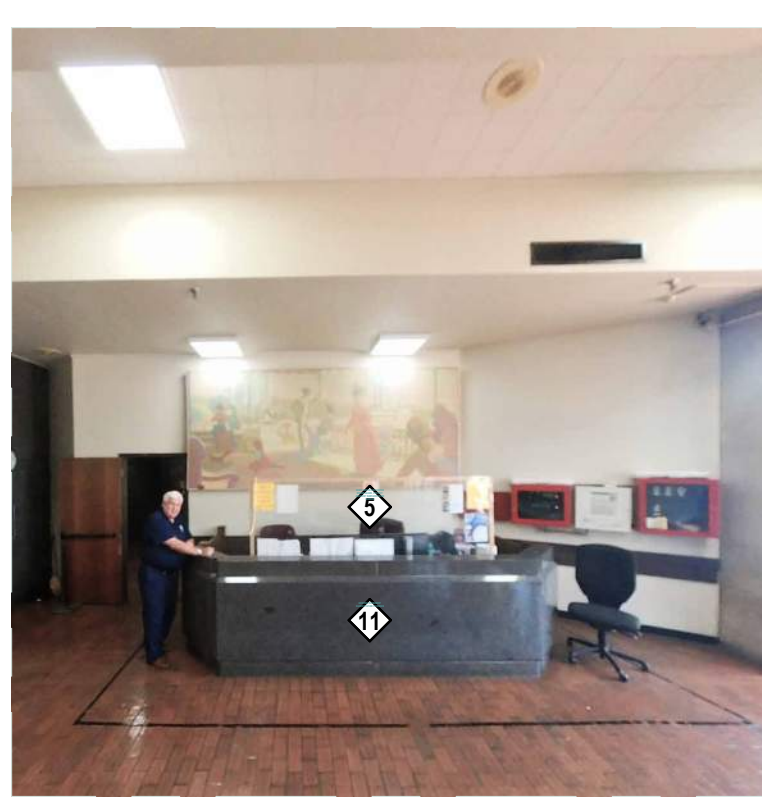
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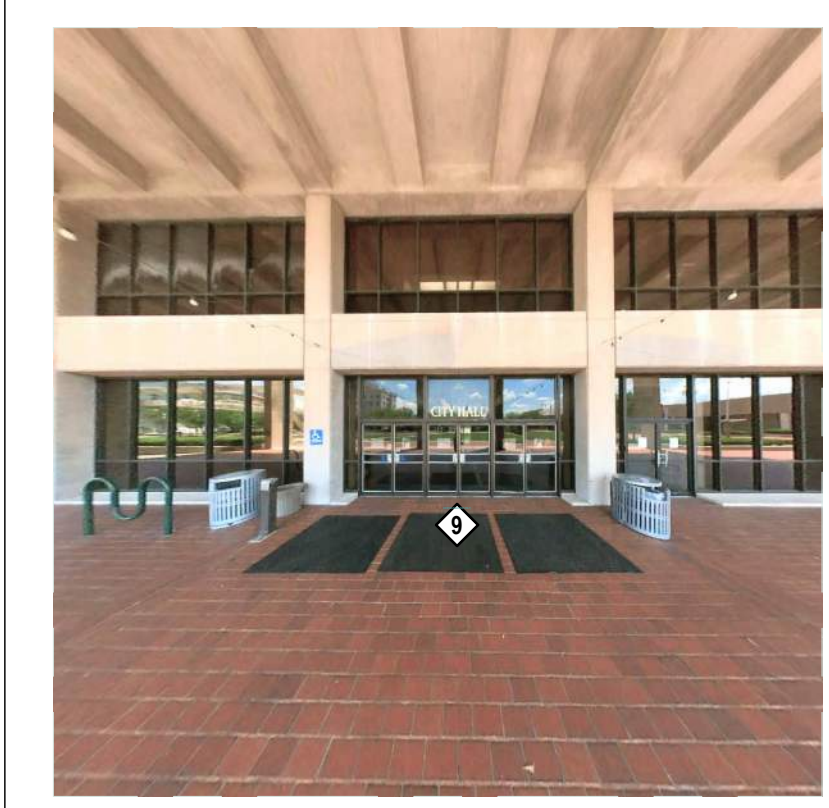
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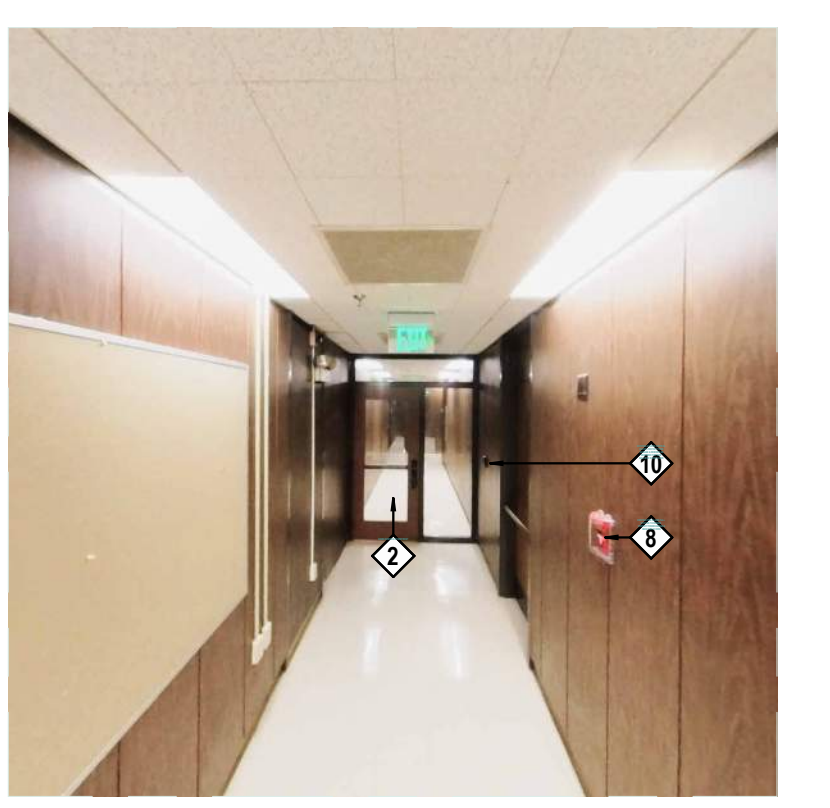
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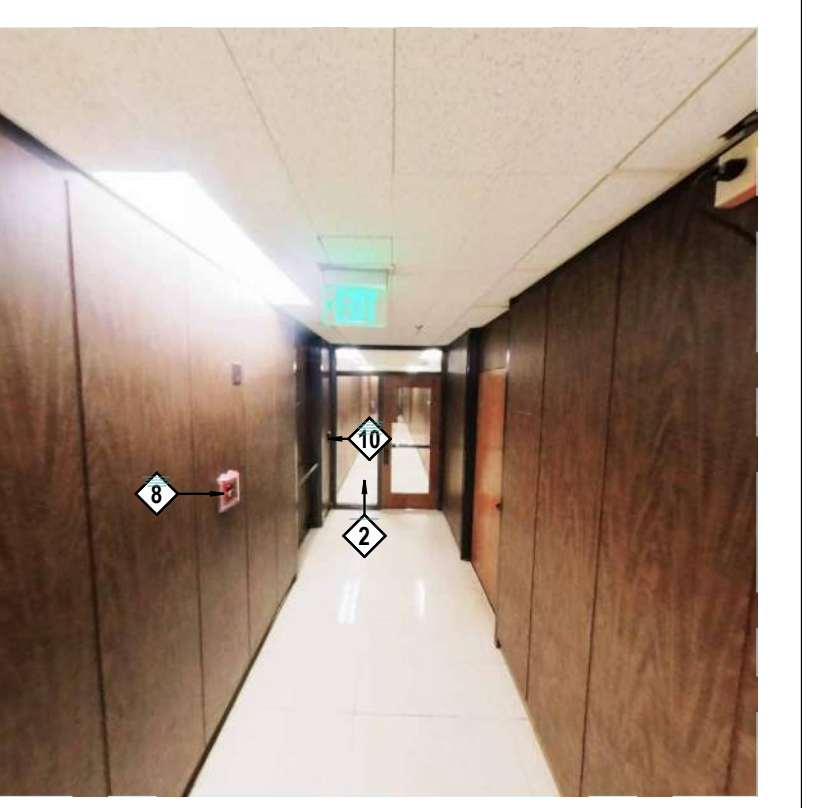
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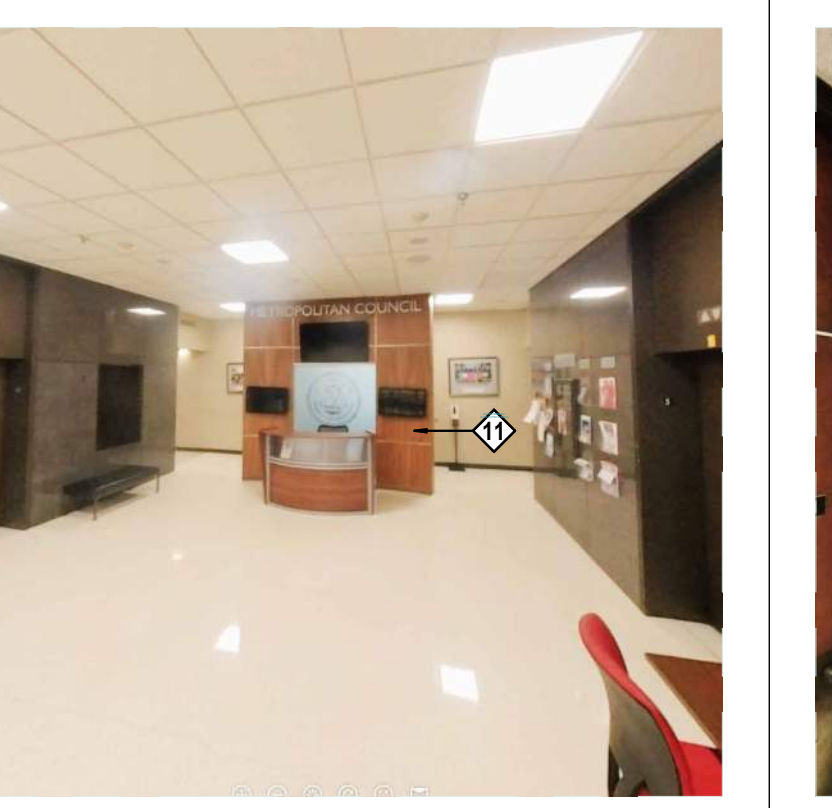
**9** EXISTING CONDITIONS  
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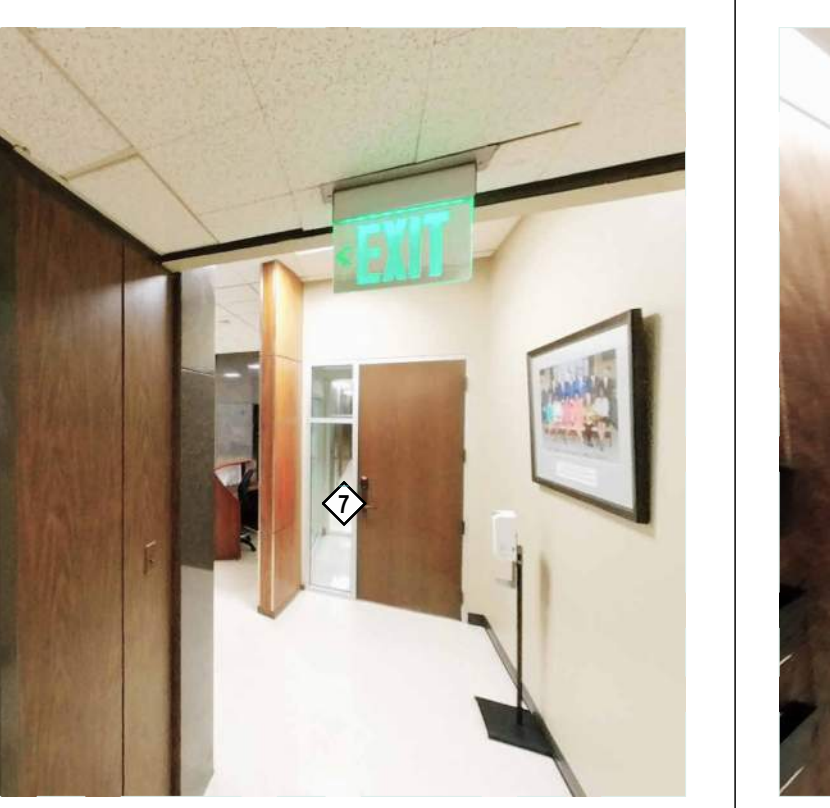
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**11** EXISTING CONDITIONS  
?



**12** EXISTING CONDITIONS  
?



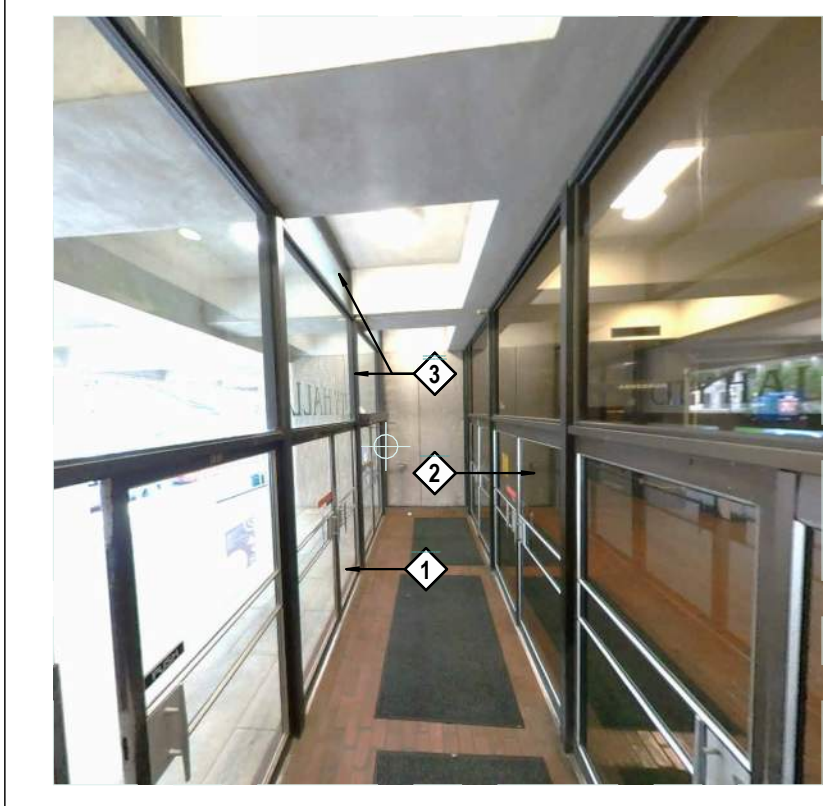
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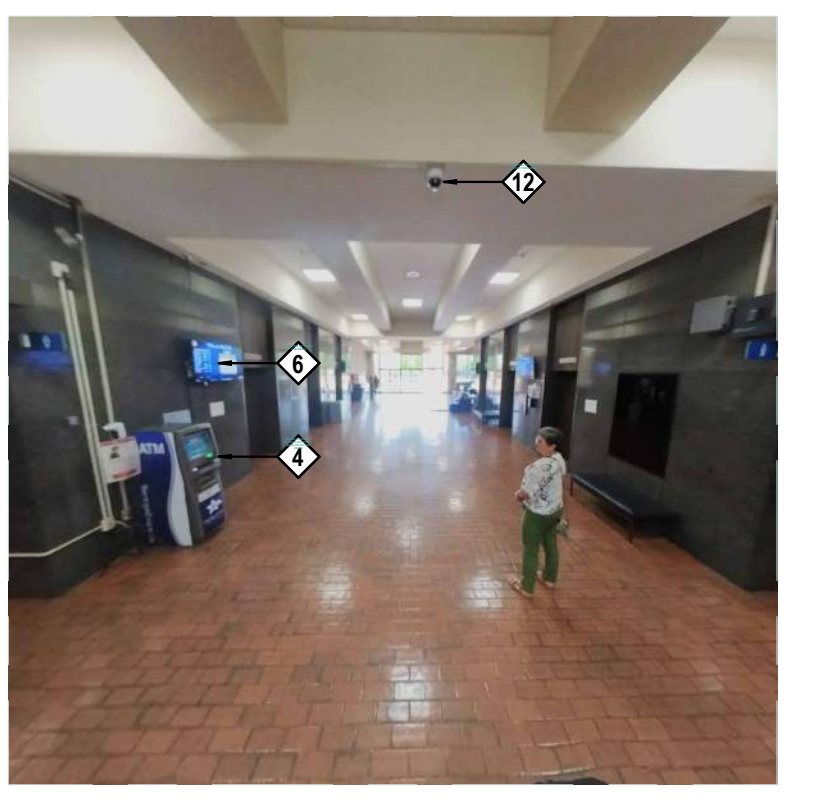
**14** EXISTING CONDITIONS  
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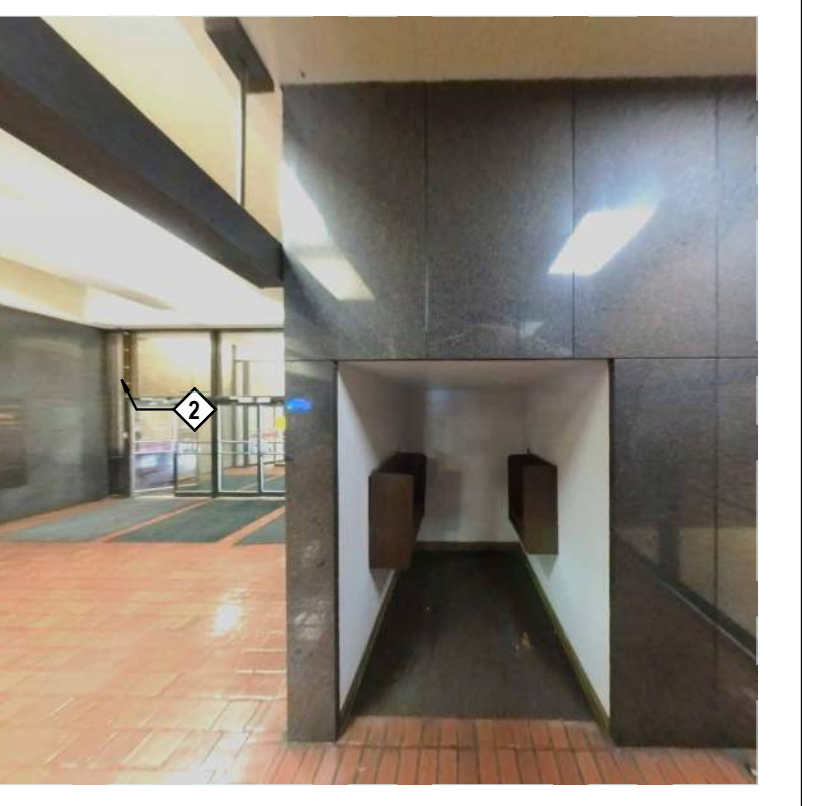
**1** EXISTING CONDITIONS  
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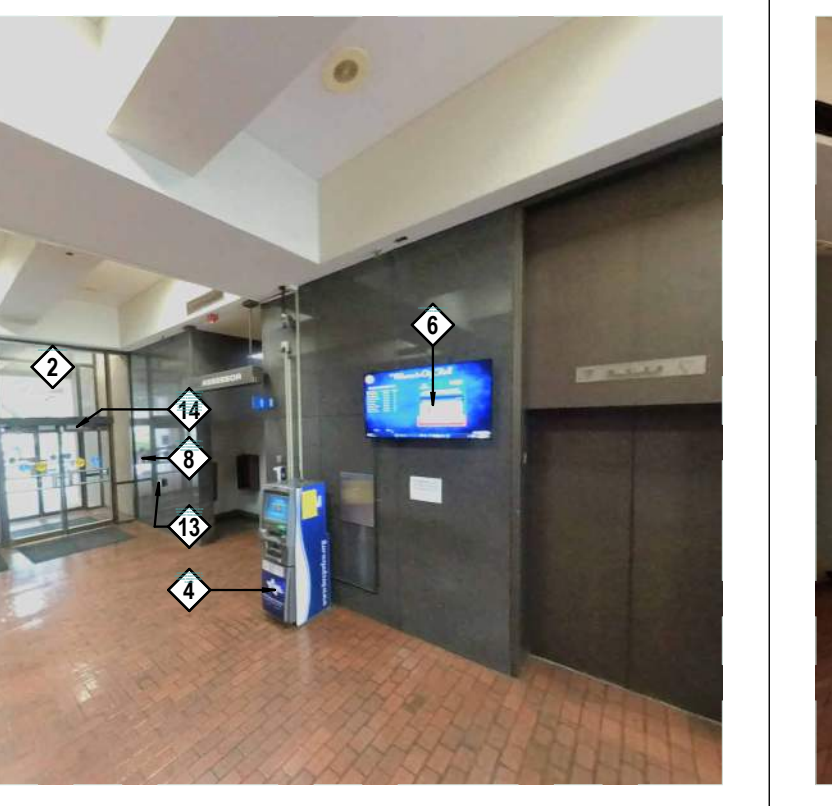
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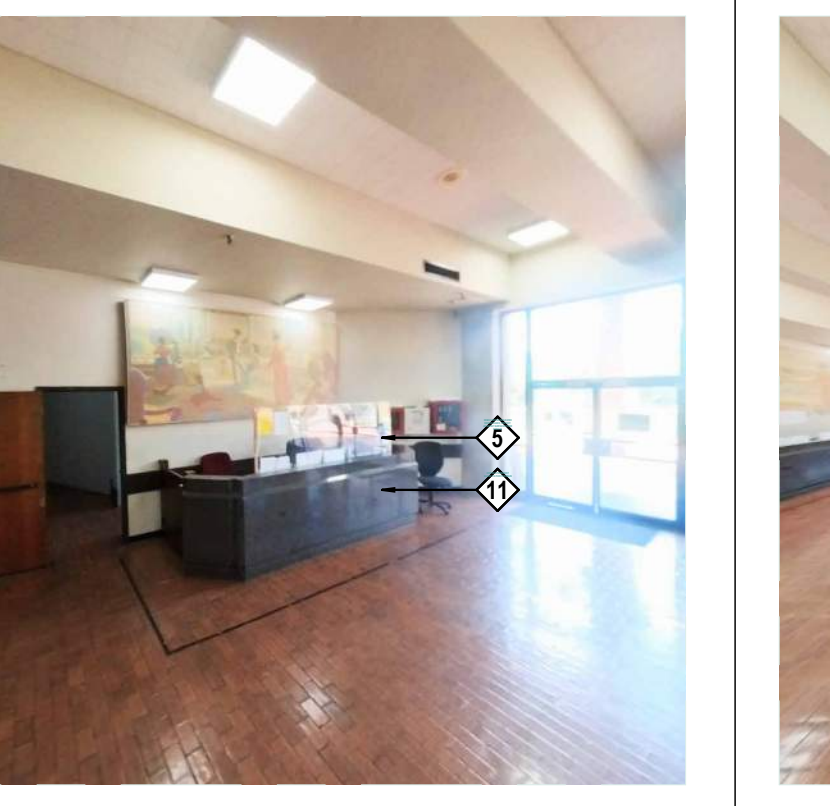
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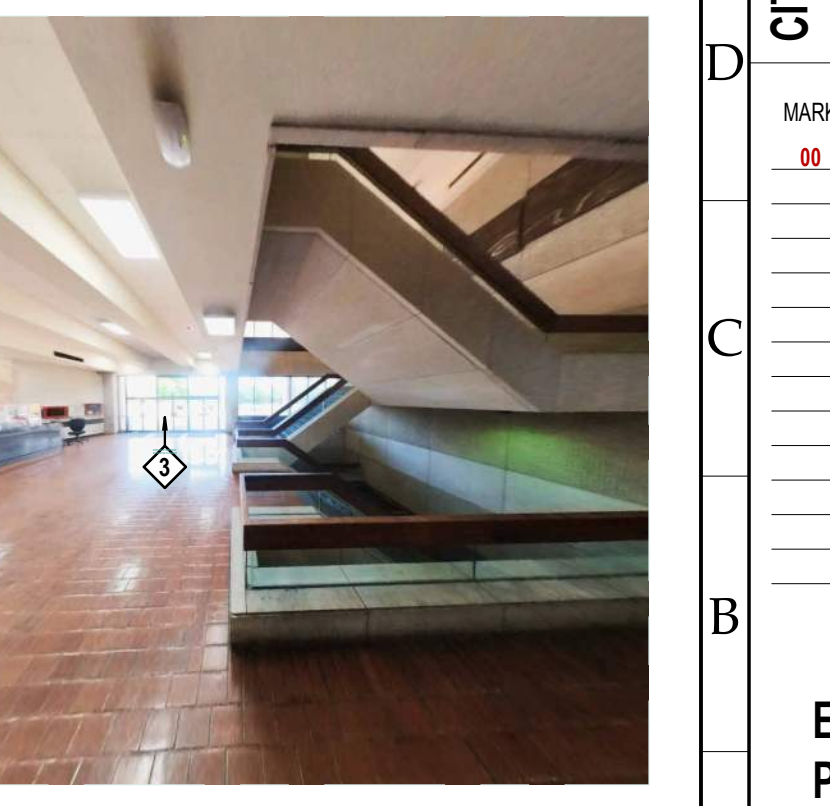
**4** EXISTING CONDITIONS  
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**5** EXISTING CONDITIONS  
?



**6** EXISTING CONDITIONS  
?



**7** EXISTING CONDITIONS  
?

MARK	REVISION	DATE
00	PROJ RESTART (BID 02)	10/28/24

EXISTING CONDITIONS PHOTOS

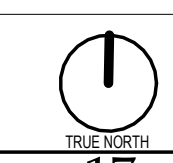
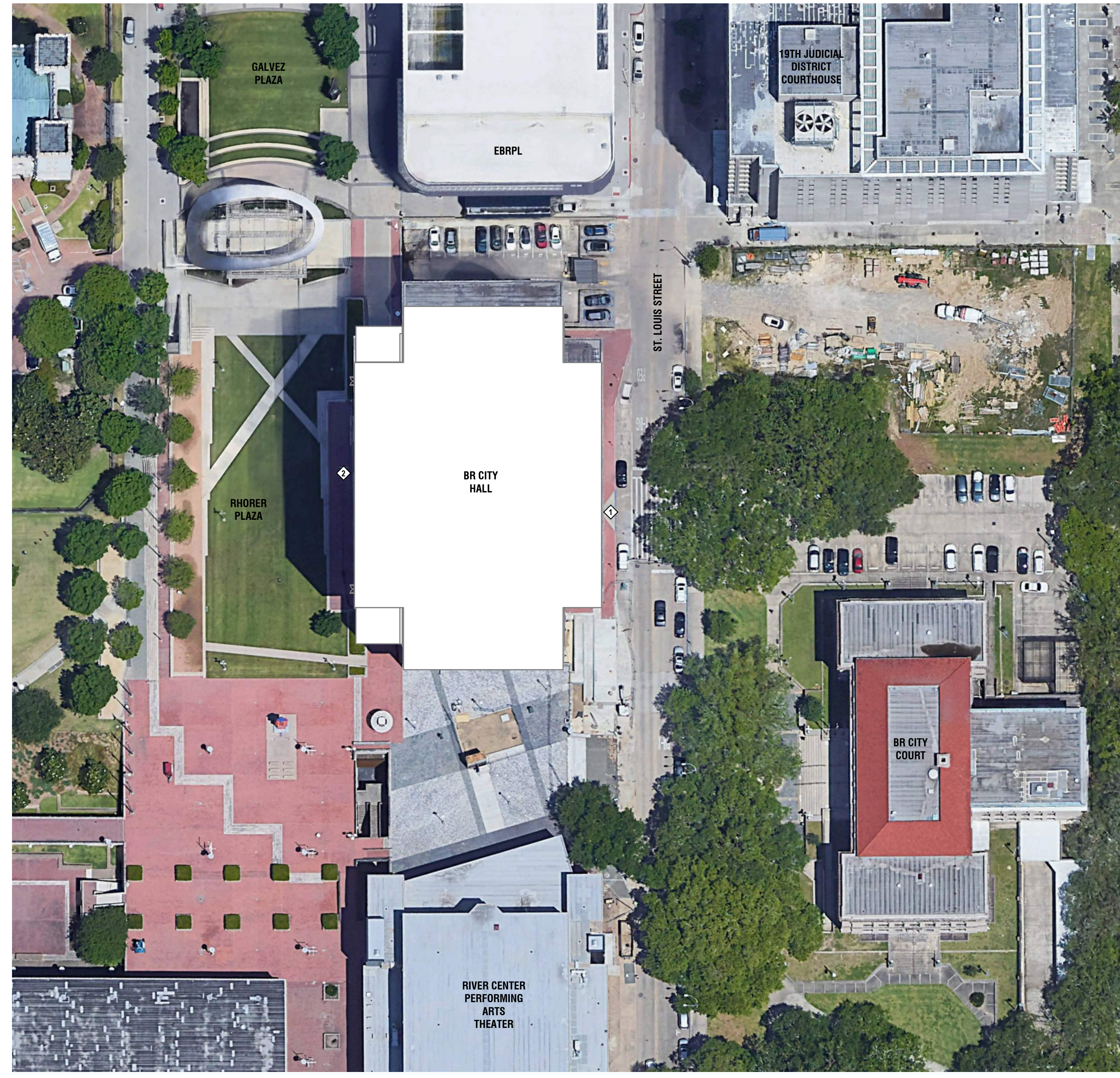
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24-1029 10:19:37 AM

24-1023 10:19:40 AM

**1**

**SITE PLAN**  
1" = 40'-0"  
(14/AS.02)



KEYNOTE LEGEND	
KEY	KEYNOTE
1	EXISTING MAIN ENTRY & EXIT
2	EXISTING REAR (EXIT ONLY)

SET NO. **CONSTRUCTION DOCUMENTS**  
10/28/24



MOULISOT ARCHITECTURE  
3005 S. OGDEN  
Baton Rouge, LA 70809-3513  
Telephone 225.767.1717  
Facsimile 225.767.1711  
www.moulisotarchitecture.com

**CITY HALL SECURITY UPGRADES**  
21-ASC-CP-1557

BATON ROUGE CITY HALL  
222 SAINT LOUIS STREET  
BATON ROUGE, LA 70802

MA PROJECT NUMBER: 23012

MARK	REVISION	DATE
00	PROJ RESTART (BID 02)	10/28/24

**SITE PLAN**

**A1.10**

24-1023 10:19:42 AM



REFER TO ELECTRICAL PLANS FOR SECURITY CAMERA LOCATIONS AT EACH FLOOR

KEYNOTE LEGEND	
KEY	KEYNOTE
1	

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CITY HALL SECURITY UPGRADES 21-ASC-CP-1557

BATON ROUGE CITY HALL 222 SAINT LOUIS STREET BATON ROUGE, LA 70802

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FLOOR KEY PLANS

A2.10

24-1029 10:19:45 AM



**SECURITY EQUIPMENT**

ALL SECURITY EQUIPMENT IS BEING PROVIDED BY THE OWNER UNDER A SEPARATE CONTRACT THROUGH ALLIED SYSTEMS, THE SPECIFIED VENDOR UNDER CONTRACT WITH THE CITY OF BATON ROUGE.

THIS CONTRACTOR IS REQUIRED TO COORDINATE W/ ALLIED SYSTEMS AND WORK BY OTHERS AS REQUIRED TO ENSURE NO CONFLICTS. CITY HALL CAMERA SYSTEM SPECIFIED PER ALLIED PROPOSAL #14036, PREPARED BY DAVID GRAHAM SUMMARIZED BELOW:

1. TWO VIDEO INTERCOM UNITS
2. FORTY-EIGHT 8MP / IR / 360 CAMERAS
3. NINE 4X2MP / IR / QUAD CAMERAS
4. TWO 2X2MP / IR / DOME CAMERAS
5. ONE 2X5MP / IR / DOME CAMERA
6. ONE GRANDSTREAM VIDEO DESK PHONE
7. ONE GUARD WORKSTATION (DESKTOP PC W/
8. THREE WIDE SCREEN TVS
9. FIVE TWENTY-FOUR PORT POE+ SWITCHES (FOR DEDICATED DEVICE NETWORK)
10. ONE ON SITE 28TB AXIS CAMERA STATION SERVER
11. ONE GUARD WORKSTATION
12. ONE GRANDSTREAM DESK PHONE FOR VIDEO INTERCOM CALLS.

PROVIDE EQUIPMENT AND INSTALLATION SHOP DRAWINGS COORDINATED W/ OTHER TRADES AS REQUIRED.

PROVIDE ALL INSTALLATION CABLING AND ACCESSORIES AS REQUIRED FOR COMPLETE INSTALLATION.

PROVIDE TESTING AND CLOSE-OUT MANUALS AS REQUIRED

REFER TO ELECTRICAL PLANS FOR ADDITIONAL REQUIREMENTS

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CITY HALL SECURITY UPGRADES 21-ASC-CP-1557

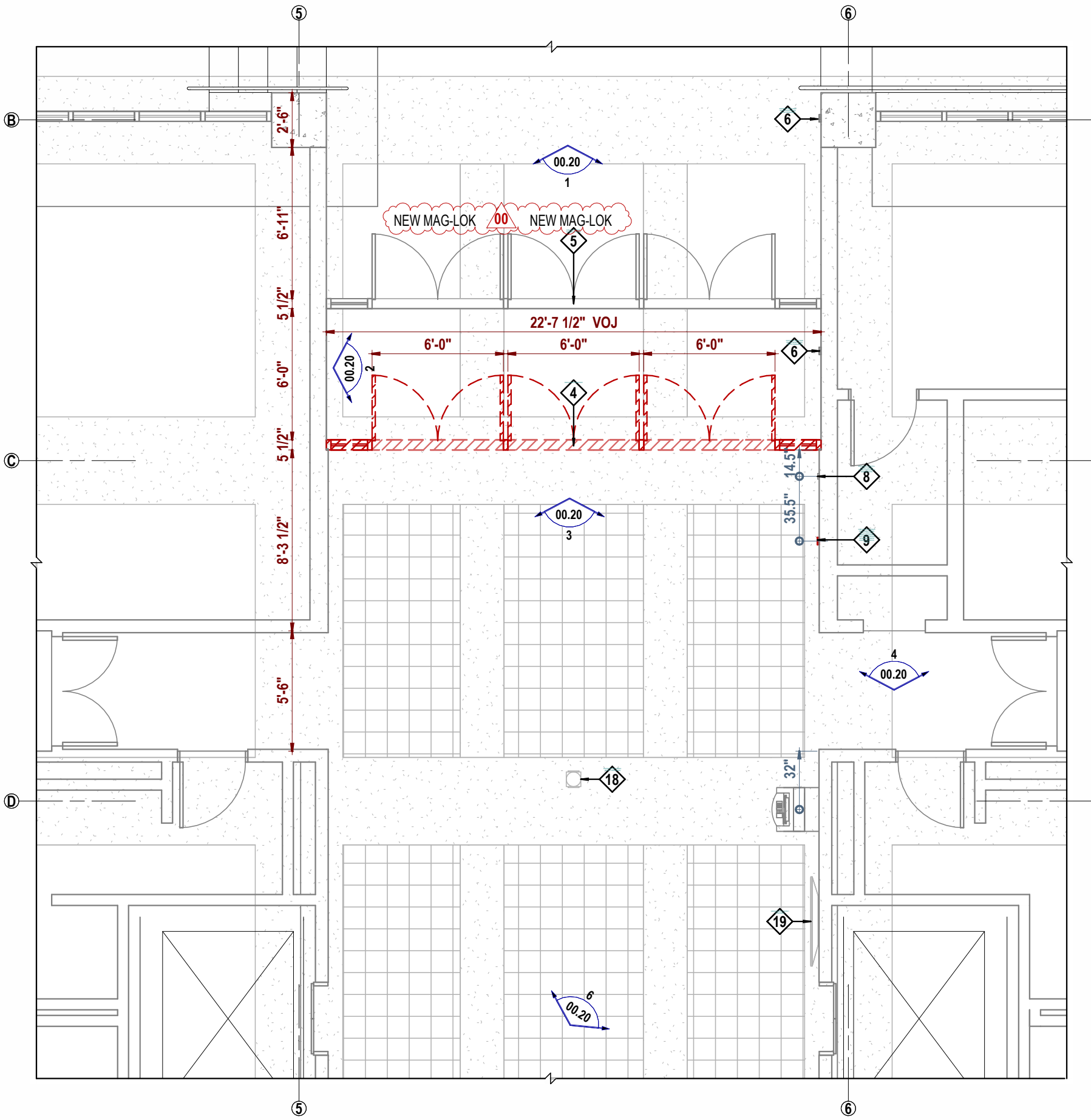
BATON ROUGE CITY HALL 222 SAINT LOUIS STREET BATON ROUGE, LA 70802

MA PROJECT NUMBER 23012

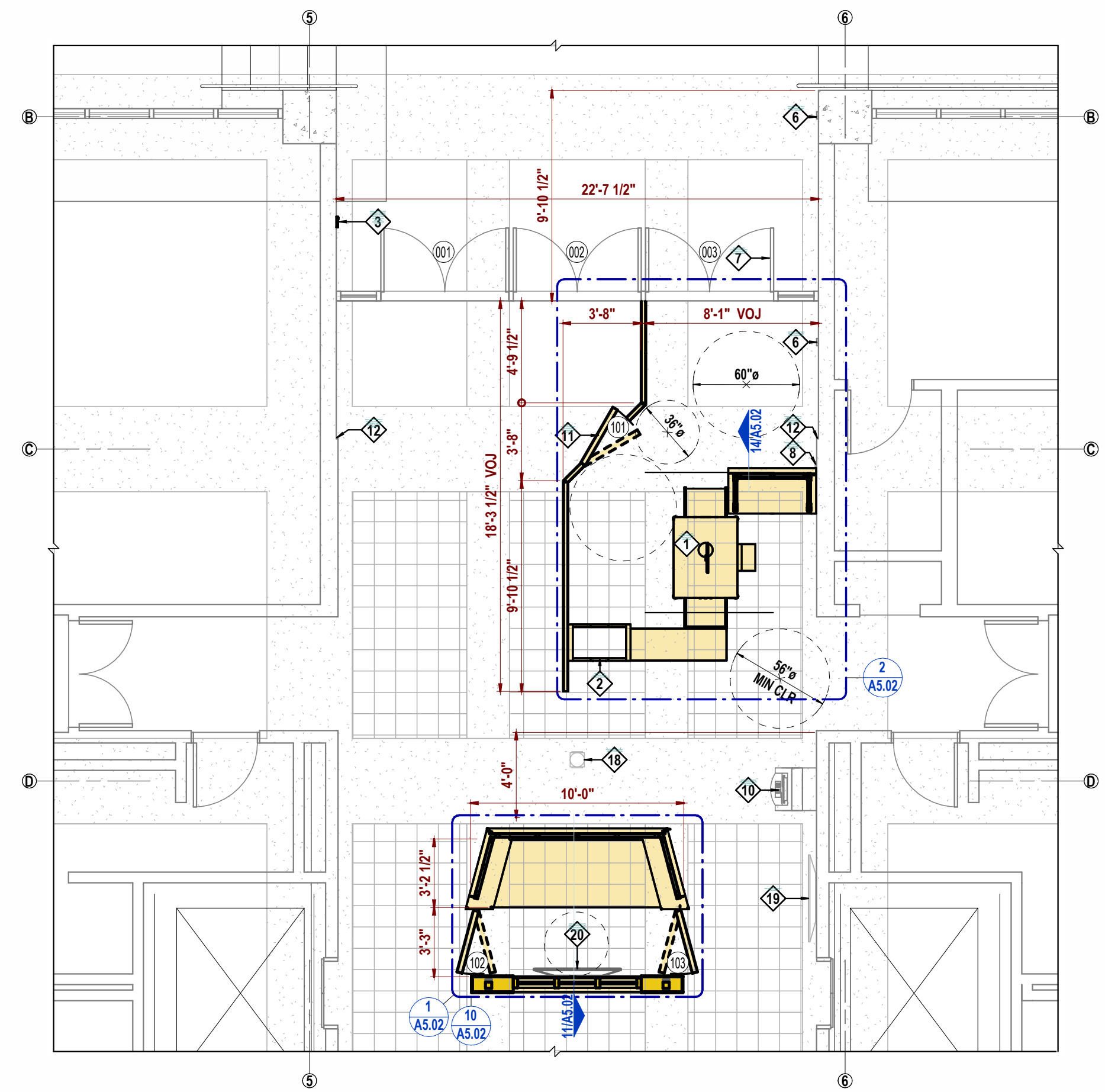
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SECURITY COORDINATION PLANS

A2.11



**1** DEMO FLOOR PLAN AT FRONT  
 3/16" = 1'-0"  
 ?



**4** NEW ENLARGED FLOOR PLAN AT FRONT  
 3/16" = 1'-0"  
 (1/A2.10)

**INTERIOR/EXTERIOR SIGNAGE NOTES:**

- PROVIDE (11) 12 x 18 CUSTOM SIGNAGE PLAQUES FOR INSTALLATION AT DOORS TO DESIGNATE ENTRY / EXIT ONLY, EMPLOYEE ENTRANCES, ETC.
- ALL SIGNAGE PLAQUES ARE TO BE EXTERIOR RATED AND PROVIDED WITH SEMI-PERMANENT ADHESIVE FOR ATTACHMENT TO EXISTING GLASS STOREFRONT
- PROVIDE (8) HEAVY DUTY FREESTANDING ADJUSTABLE BLACK METAL PEDESTAL FLOOR SIGN w/ 11" x 17" BLACK METAL SIGN HOLDER. PROVIDE DOUBLE-SIDED CUSTOM SIGNAGE INSERT FOR EACH
- PROVIDE 12" HALO-LIT DIMENSIONAL LETTERS AT LVL 3 ENTRANCE TO MAYOR-PRESIDENT'S OFFICE. DEMO EXISTING LIT SIGNAGE AND CONNECT NEW SIGNAGE TO EXISTING CIRCUIT.

**POWER & COORDINATION FOR ACCESS CONTROL TO BE PROVIDED UNDER BASE BID**

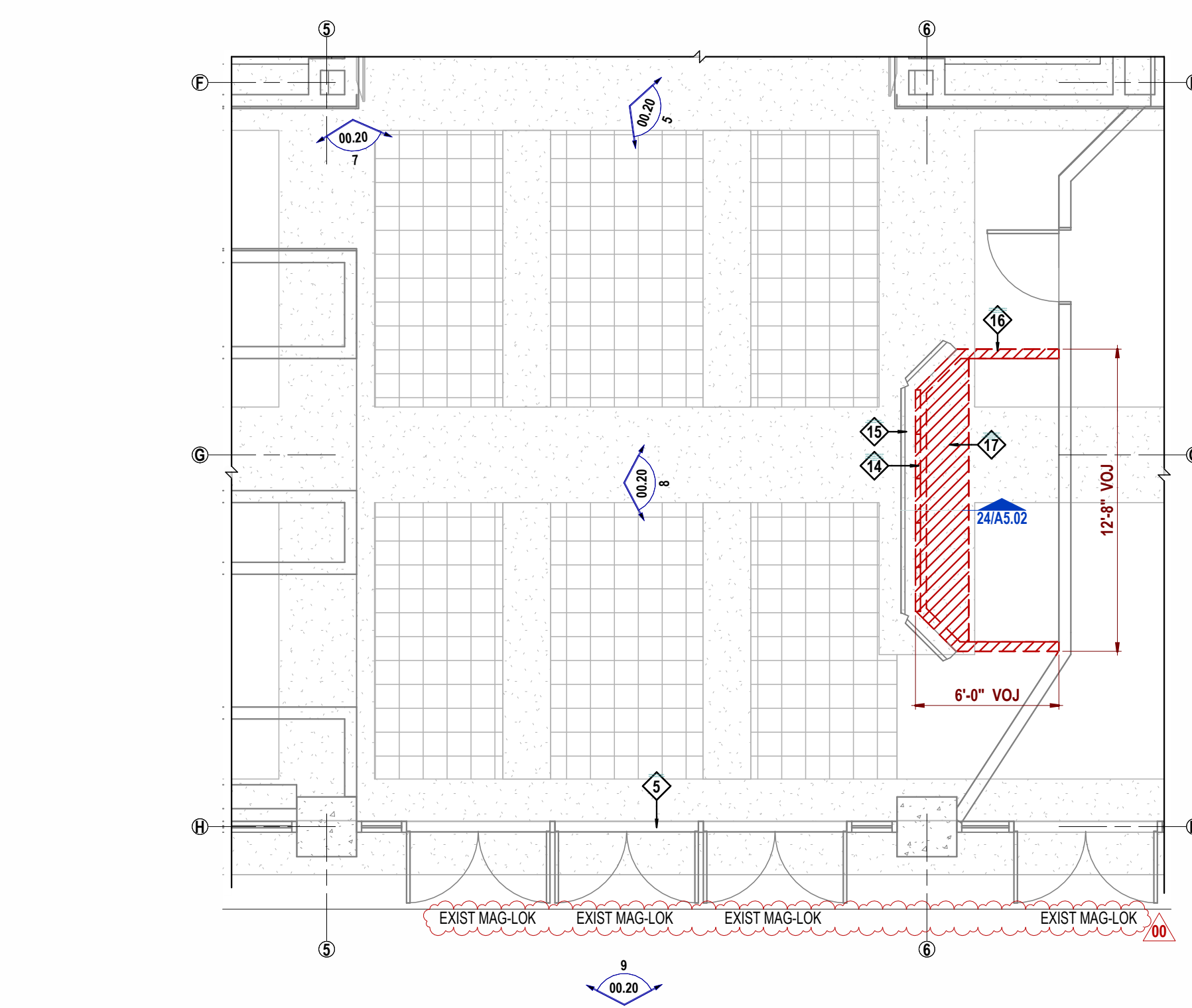
- THERE ARE (3) PAIRS OF DOORS AT THE GROUND FLOOR FRONT ENTRY THAT ARE TO REMAIN. (2) PAIRS OF DOORS ARE TO RECEIVE NEW MAG-LOCK ACCESS CONTROLS PROVIDED BY OWNER'S SECURITY CONTRACTOR. THE BASE BID OF THIS PROJECT IS REQUIRED TO INCLUDE ELECTRICAL CIRCUIT, WIRING AND WIREMOLD TRIM AS REQUIRED TO PROVIDE ELECTRICAL CIRCUITS AT THE (2) PAIRS OF DOORS RECEIVING THE NEW ACCESS CONTROLS.
- ALL NEW DOORS BEING PROVIDED AT THE THIRD FLOOR ARE EACH TO BE PROVIDED WITH AN ELECTRICAL CIRCUIT FOR ACCESS CONTROL

**KEYNOTE LEGEND**

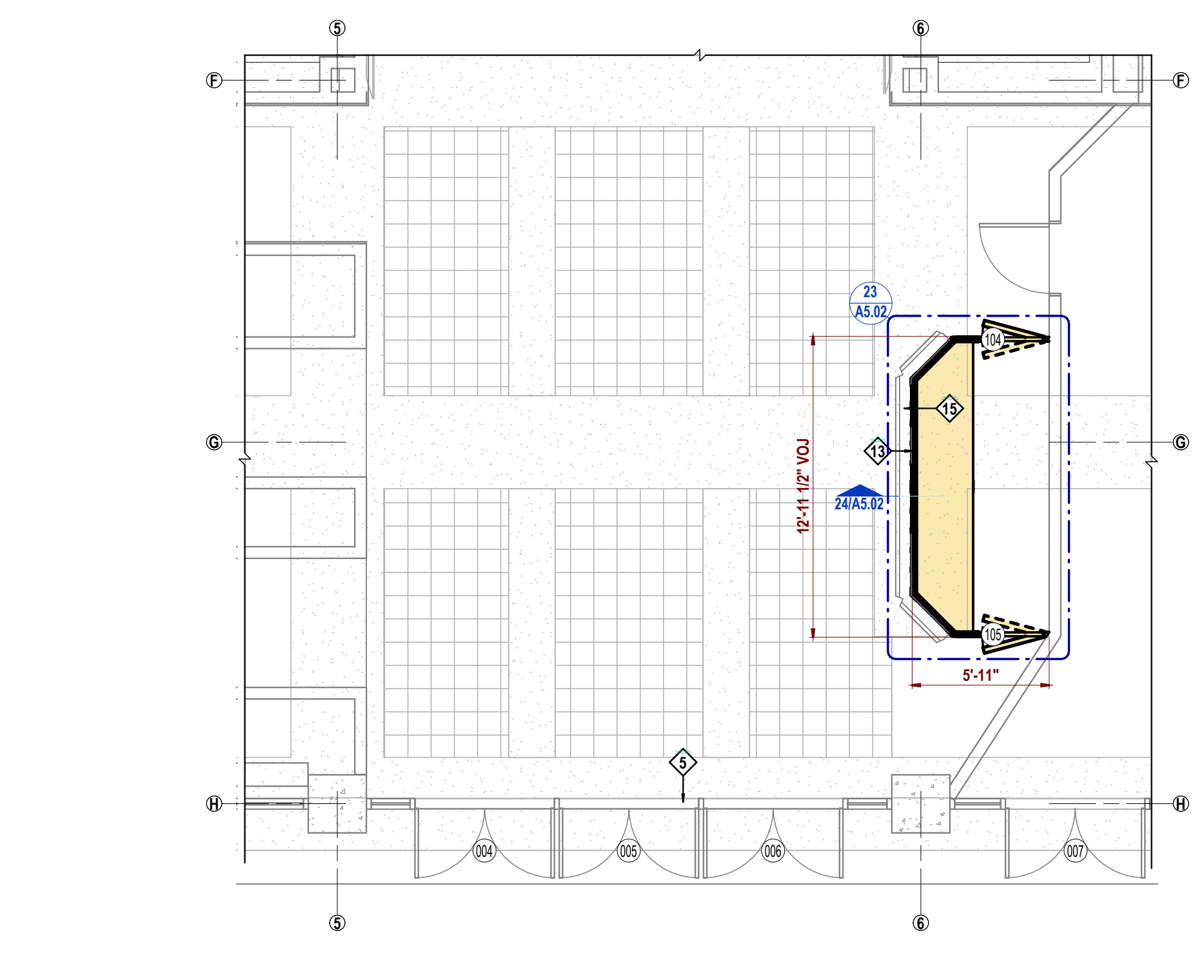
KEY	KEYNOTE
1	SECURITY SCANNING EQUIPMENT FURNISHED BY OWNER & INSTALLED BY CONTRACTOR
2	METAL DETECTOR FURNISHED BY OWNER & INSTALLED BY CONTRACTOR
3	NEW ELECTRONIC ACCESS CONTROLS AT EMPLOYEE ENTRANCES. NO EGRESS RESTRICTION. VERIFY ACTUAL MOUNTING LOCATIONS & REQUIREMENTS (RE: ELECTRICAL)
4	DEMO EXISTING STOREFRONT
5	EXISTING STOREFRONT ENTRANCES TO REMAIN
6	EXISTING AUTOMATIC DOOR OPENER CONTROL DEVICE. PROTECT FROM DAMAGE
7	RE-WORK EXISTING AUTOMATIC DOOR OPENERS AS REQUIRED TO FUNCTION w/ REMAINING DOORS
8	EXISTING FIRE ALARM PULL STATION TO REMAIN. PROTECT FROM DAMAGE & MAINTAIN ACCESS
9	DEMO EXISTING AUTOMATIC DOOR OPENER CONTROL DEVICE & ASSOCIATED WIRING & ACCESSORIES. PATCH & REPAIR SURFACES AS REQUIRED TO MATCH ADJACENT MATERIALS & FINISHES
10	EXISTING ATM MACHINE & ASSOCIATED ELECTRICAL TO REMAIN. PROTECT FROM DAMAGE
11	NEW 48" HIGH DOUBLE-ACTING SPRING HINGED NON-BALLISTIC PANEL w/ MAGNETIC LATCH (RE: 05 50 00)
12	VERIFY JOINT TREATMENT AT LOCATION OF DEMOLISHED STOREFRONT. PROVIDE PREFINISHED JOINT TRIM AS REQUIRED
13	NEW BALLISTIC-RATED WINDOWS (RE: 08 56 53)
14	DEMO EXISTING NON-RATED SNEEZE GUARD. PROTECT ADJACENT SURFACES FROM DAMAGE
15	EXISTING PERMANENT GUARD STATION TO REMAIN
16	DEMO EXISTING FRAMING & SWING DOORS AT EXISTING GUARD STATION
17	DEMO EXISTING DESKTOP, TRIM & SUPPORTS AT EXISTING GUARD STATION AS REQUIRED
18	EXISTING SECURITY CAMERA (PROTECT FROM DAMAGE)
19	EXISTING MONITOR. PROTECT FROM DAMAGE
20	VIDEO MONITOR BY OTHERS. PROVIDE POWER, DATA, AND ADDITIONAL BLOCKING AT MOUNTING LOCATION. VERIFY EXACT LOCATION



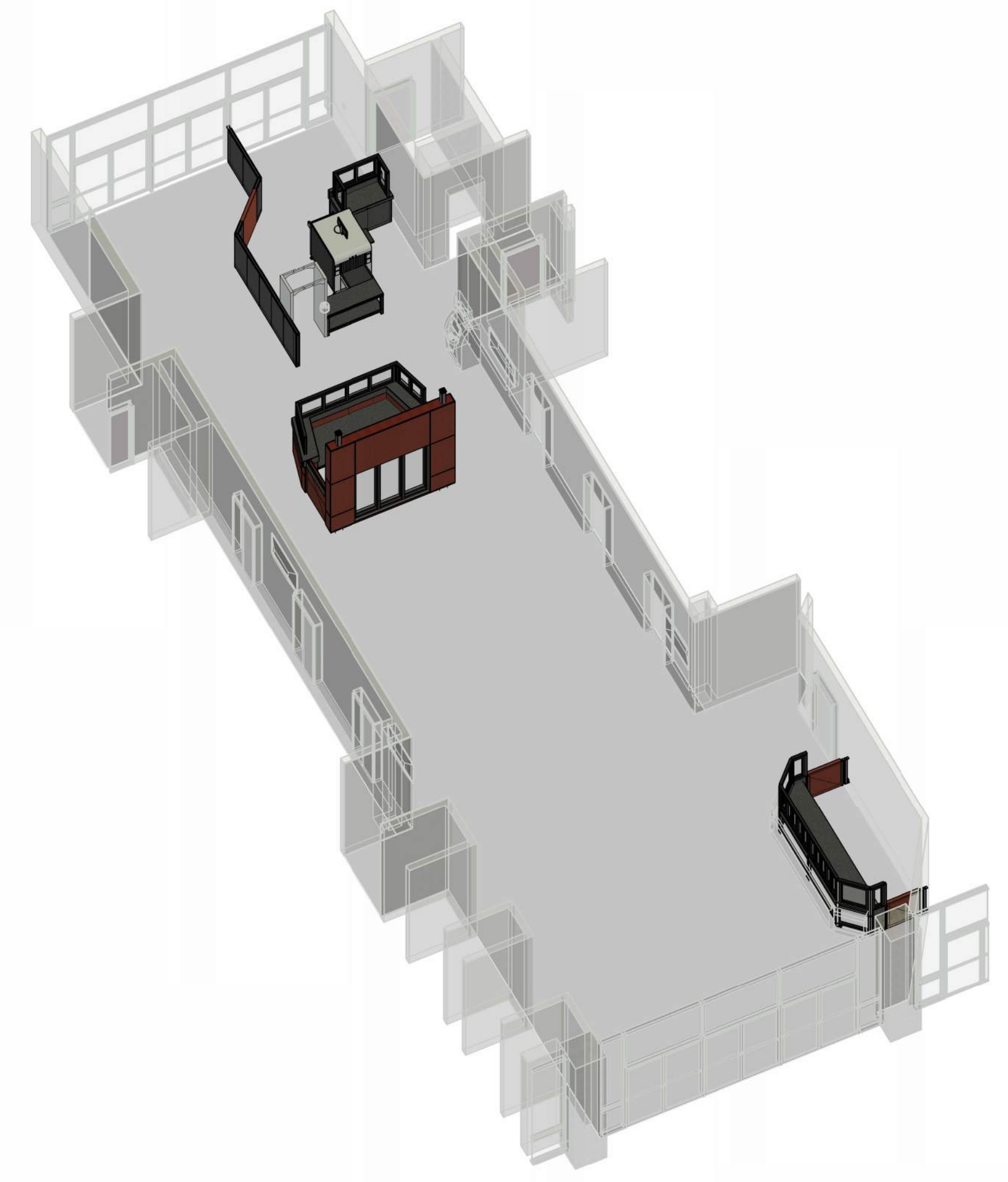
**6** PERSPECTIVE AT NEW SECURITY DESK  
 ?



**2** DEMO FLOOR PLAN AT REAR  
 3/16" = 1'-0"  
 ?



**3** NEW ENLARGED FLOOR PLAN AT REAR  
 3/16" = 1'-0"  
 (1/A2.10)



**5** AXON AT LOBBY  
 ?

CONSTRUCTION DOCUMENTS  
 10/28/24



**ma**  
 MOULGOOT ARCHITECTURE  
 1005 S. GULF SHORE  
 Building 7, Suite A  
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 Telephone: 225.767.1717  
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 www.moulgootarchitecture.com

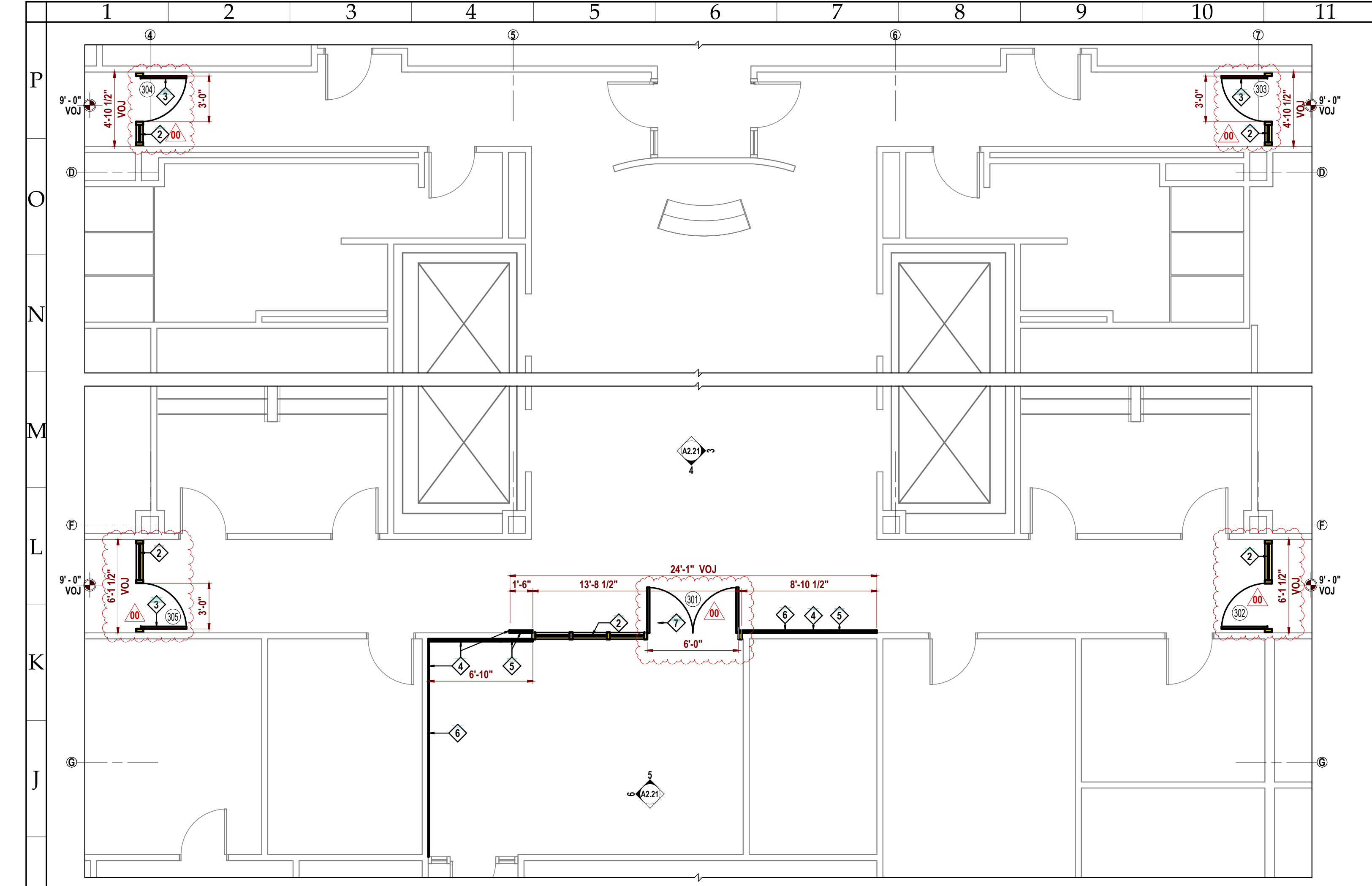
CITY HALL SECURITY UPGRADES  
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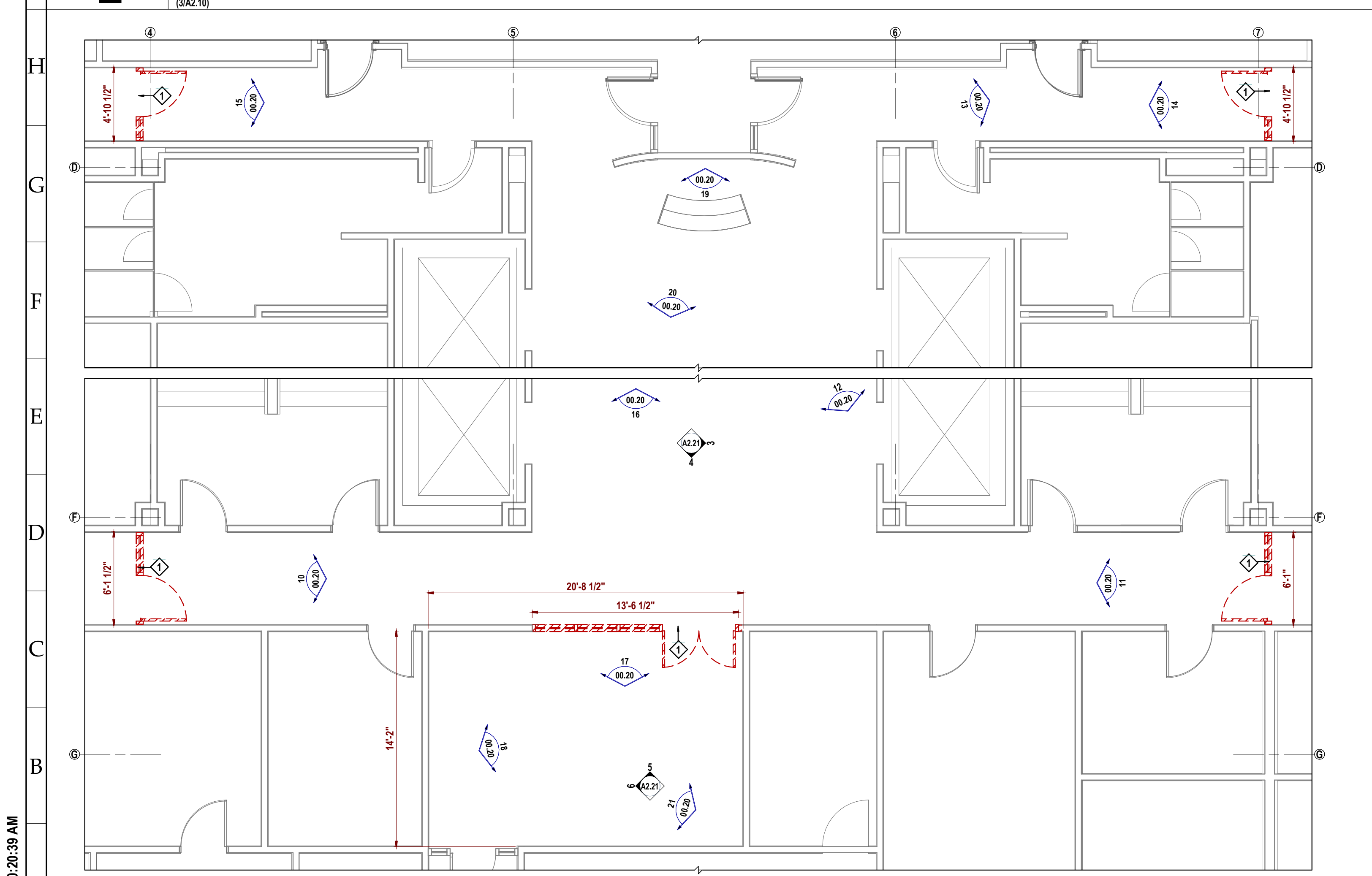
NEW LVL 1 ENLARGED FLOOR PLANS

A2.20

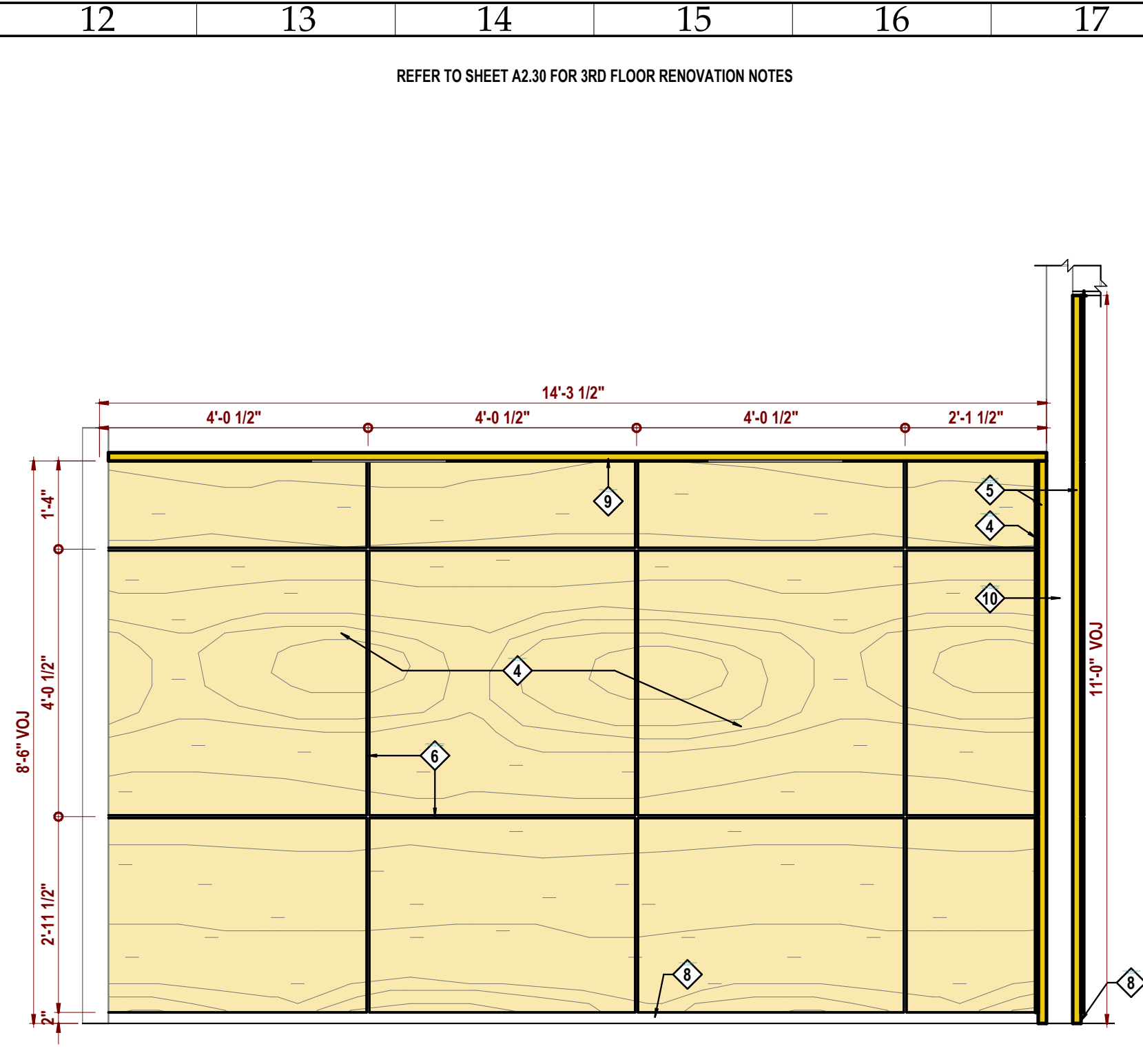
24-1029 10:20:36 AM



**2** LVL 3 - NEW FLOOR PLAN  
 3/16" = 1'-0"  
 (3/A2.10)

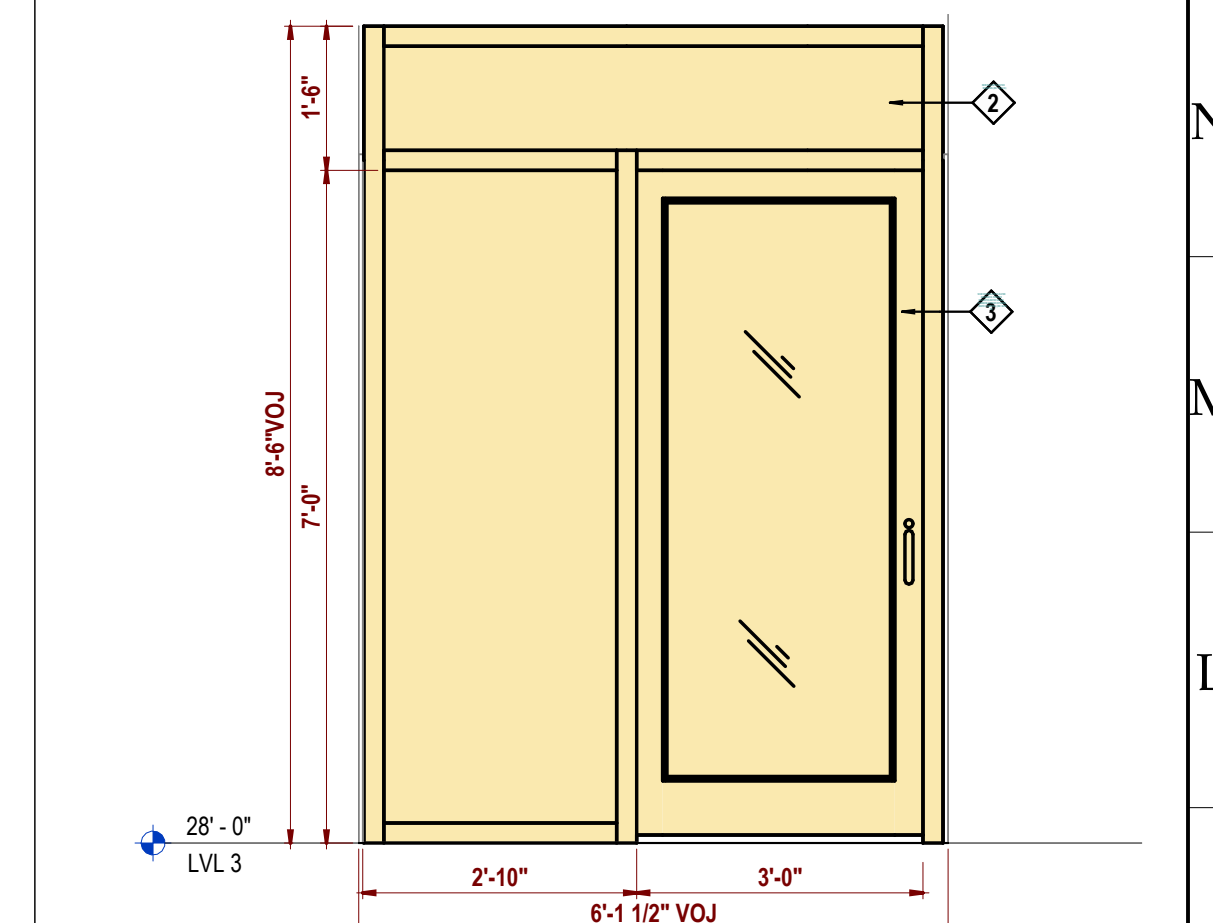


**1** LVL 3 - DEMO FLOOR PLAN  
 3/16" = 1'-0"  
 ?

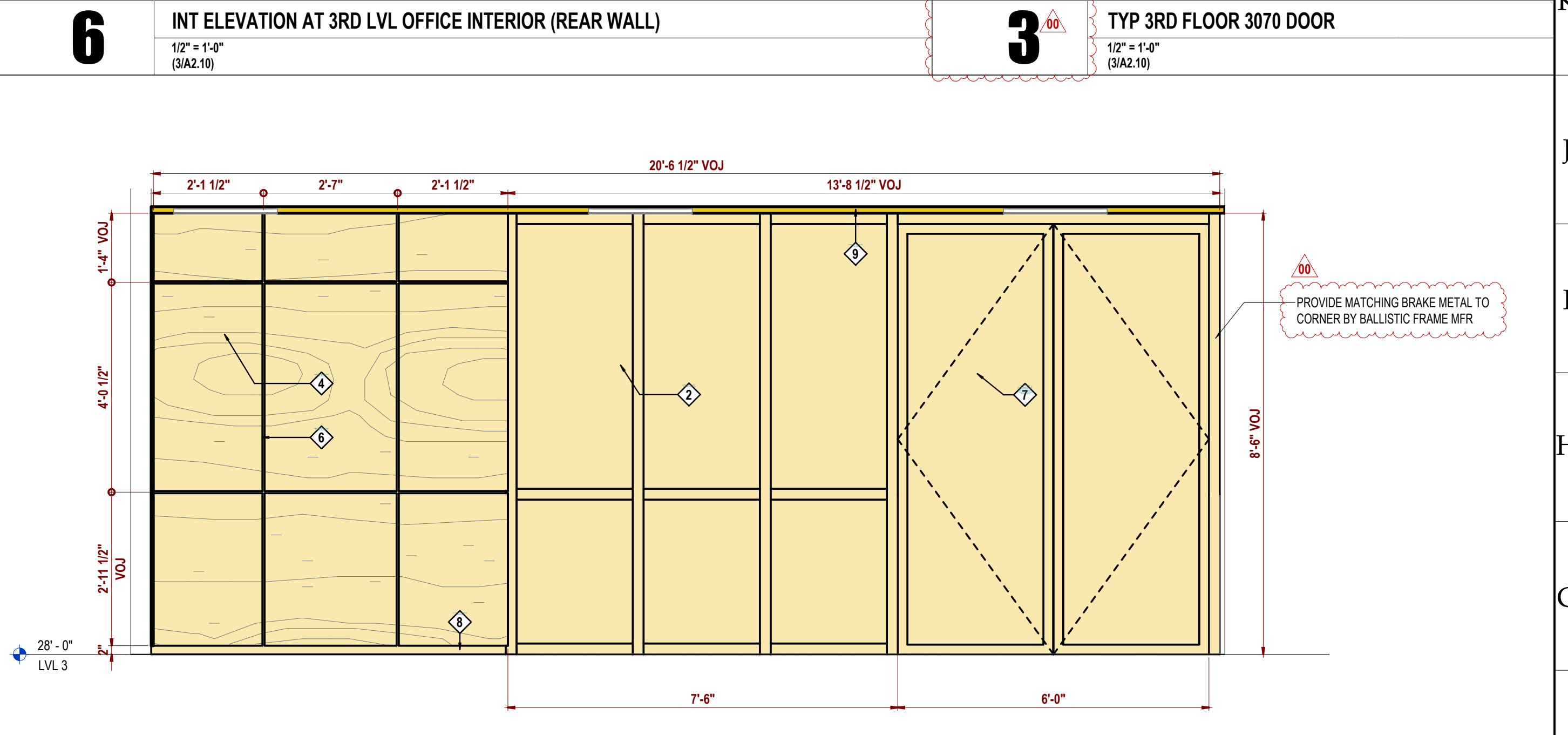


**6** INT ELEVATION AT 3RD LVL OFFICE INTERIOR (REAR WALL)  
 1/2" = 1'-0"  
 (3/A2.10)

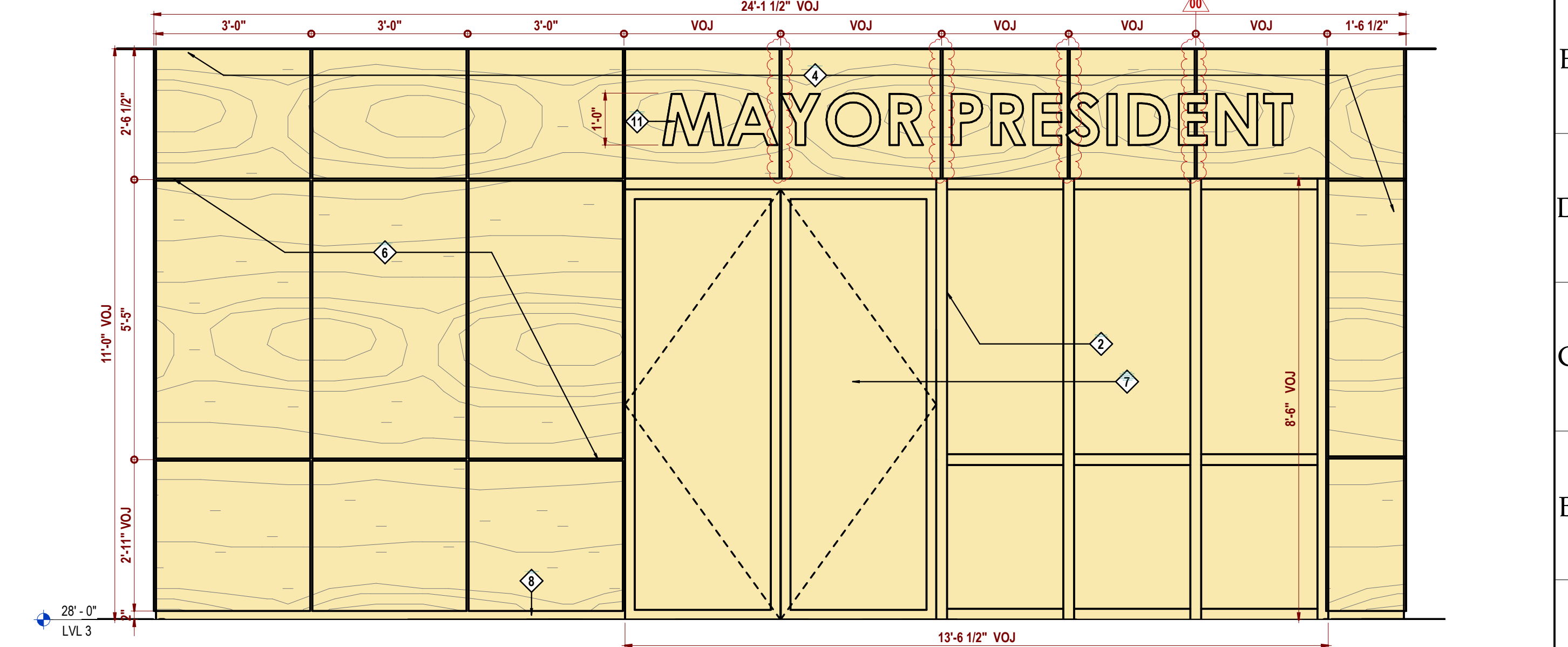
KEY	KEYNOTE
1	DEMO EXISTING STOREFRONT
2	NEW BALLISTIC-RATED WINDOWS (RE: 08 56 53)
3	NEW 3070 BALLISTIC-RATED ENTRANCE. PROVIDE BALLISTIC-RATED GLASS TRANSOM ACROSS OPENING (MATCH EXISTING) (RE: 08 56 53)
4	PERMANENT WALL PANELS (RE: 06 20 00)
5	LAMINATED FIBERGLASS BALLISTIC-RESISTANT PANELS (RE: 10 26 41)
6	PANEL HANGING SYSTEM w/ REVEAL (RE: 05 50 00)
7	NEW PAIR OF 3086 CUSTOM-HEIGHT BALLISTIC RATED ENTRANCES. FIELD VERIFY HEIGHT, ALLOW (+/-) 6" OF HEIGHT VARIATION IN BID. (RE: 08 56 53)
8	2' x 18" ALUMINUM PLATE (RE: 05 50 00)
9	ACOUSTICAL CEILING (RE: 09 51 00)
10	EXISTING WALL TO REMAIN, PROTECT FROM DAMAGE
11	NEW HALO-LIT DIMENSIONAL LETTERS (RE: 10 14 00)



**3** TYP 3RD FLOOR 3070 DOOR  
 1/2" = 1'-0"  
 (3/A2.10)



**5** INT ELEVATION AT 3RD LVL OFFICE INTERIOR (SIDE WALL)  
 1/2" = 1'-0"  
 (3/A2.10)



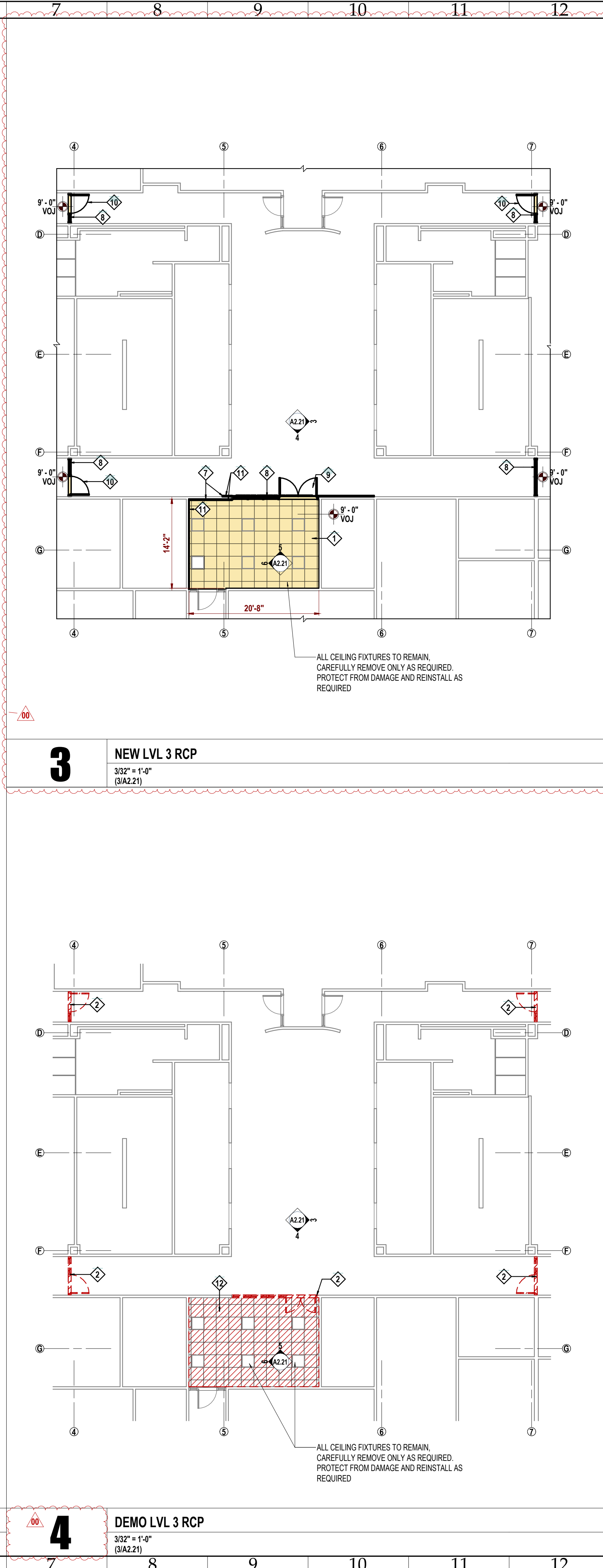
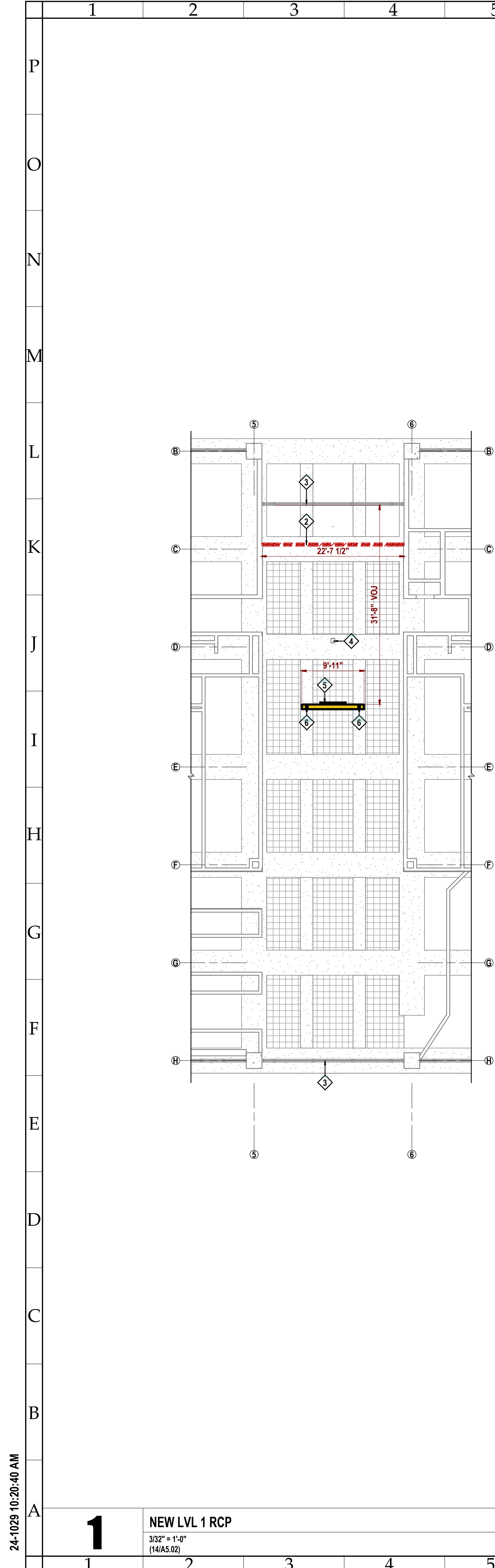
**4** INT ELEVATION AT 3RD LVL OFFICE EXTERIOR  
 1/2" = 1'-0"  
 (3/A2.10)



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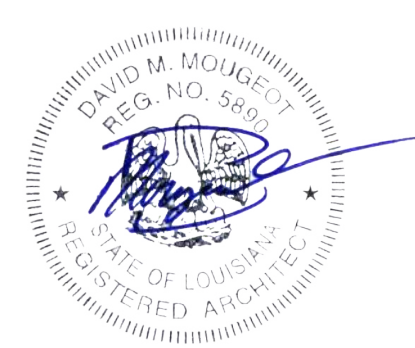


DOOR SCHEDULE	
MARK	COMMENTS
<b>00. EXISTING</b>	
<b>EXIST (2) 3070 STOREFRONT ENTRANCE TO REMAIN</b>	
001	PROVIDE POWER FOR NEW MAG-LOK (SEE NOTES)
002	PROVIDE POWER FOR NEW MAG-LOK (SEE NOTES)
003	RE-WORK ADA AUTO-OPENING DEVICE AS REQD
004	NO WORK
005	NO WORK
006	NO WORK
007	NO WORK
<b>01. CONSTRUCTION</b>	
<b>NEW 3'-0" WIDE CUSTOM FABRICATED SWING HALF-DOOR AT GUARD STATION</b>	
101	SHOP FABRICATE & FIELD ADJUST AFTER INSTALLATION, BALLISTIC INSERTS
102	SHOP FABRICATE & FIELD ADJUST AFTER INSTALLATION, BALLISTIC INSERTS
103	SHOP FABRICATE & FIELD ADJUST AFTER INSTALLATION, BALLISTIC INSERTS
104	SHOP FABRICATE & FIELD ADJUST AFTER INSTALLATION, BALLISTIC INSERTS
105	SHOP FABRICATE & FIELD ADJUST AFTER INSTALLATION, BALLISTIC INSERTS
<b>NEW 3070 BALLISTIC-RATED STOREFRONT w/ ELR EXIT DEVICE AND CLOSER</b>	
302	w/ BALLISTIC-RATED SIDELIGHTS & TRANSOM
303	w/ BALLISTIC-RATED SIDELIGHTS & TRANSOM
304	w/ BALLISTIC-RATED SIDELIGHTS & TRANSOM
305	w/ BALLISTIC-RATED SIDELIGHTS & TRANSOM
<b>NEW (2) 3086 BALLISTIC-RATED STOREFRONT w/ ELR EXIT DEVICE, CONCEALED FLUSH BOLTS &amp; CLOSER</b>	
301	CUSTOM SIZED ENTRANCE, FIELD VERIFY & FIT TO MATCH EXISTING

KEYNOTE LEGEND	
KEY	KEYNOTE
1	ACOUSTICAL CEILINGS (RE: 09 51 00)
2	DEMO EXISTING STOREFRONT
3	EXISTING STOREFRONT ENTRANCES TO REMAIN
4	EXISTING SECURITY CAMERA (PROTECT FROM DAMAGE)
5	VIDEO MONITOR BY OTHERS, PROVIDE POWER, DATA, AND ADDITIONAL BLOCKING AT MOUNTING LOCATION, VERIFY EXACT LOCATION
6	3 1/2" SQ. STEEL TUBE w/ WELDED 1 1/2" x 10" x 1/2" BASE PLATE, EXTEND TO CEILING AND PROVIDE CUT-OUTS FOR ELECTRICAL CHASE PAINT (RE: 05 50 00)
7	LAMINATED FIBERGLASS BALLISTIC-RESISTANT PANELS (RE: 10 26 41)
8	NEW BALLISTIC-RATED WINDOWS (RE: 08 56 53)
9	NEW PAIR OF 3086 CUSTOM-HEIGHT BALLISTIC RATED ENTRANCES, FIELD VERIFY HEIGHT, ALLOW (+/-) 6" OF HEIGHT VARIATION IN BID. (RE: 08 56 53)
10	NEW 3070 BALLISTIC-RATED ENTRANCE, PROVIDE BALLISTIC-RATED GLASS TRANSOM ACROSS OPENING (MATCH EXISTING) (RE: 08 56 53)
11	PERMANENT WALL PANELS (RE: 06 20 00)
12	DEMO EXISTING ACT & GRID

- THIRD FLOOR RENOVATION NOTES:**
- NEW BALLISTIC RATED STOREFRONTS & ENTRANCES:**
    - MATCH ALL EXISTING ROUGH OPENINGS. INCLUDE NEW ANCHORS FOR EACH APPLICATION PER MFR REQUIREMENTS TO MAINTAIN BALLISTIC RATING SPECIFIED.
  - THERE ARE (4) 3070 NEW BALLISTIC LEVEL 3 SINGLE DOORS AND (1) PAIR OF 3'-0" DOORS CUSTOM-SIZED TO MATCH THE EXISTING CEILING HEIGHT (BETWEEN 8'-0" AND 9'-0") TO BE INCLUDED IN THE BASE BID.
    - ALL DOORS ARE TO BE FULL-GLAZED, LEVEL 3 BALLISTIC RATING WITH NARROW STILES.
    - ALL DOORS ARE TO BE PROVIDED WITH MANUFACTURER'S RECOMMENDED DOOR HARDWARE INCLUDING ELECTRIC LATCH RETRACTION (ELR) HARDWARE TO BE TIED-IN TO OWNER'S ACCESS CONTROL AND FIRE ALARM SYSTEMS.
    - THE PAIR OF DOORS IS TO HAVE ONE SEMI-OPERABLE LEAF USUALLY LOCKED, EXIT ONLY WITH CONCEALED ROOFS (NO CENTER MULLION), THE OTHER OPERABLE LEAF IS TO BE OPERATED BY ACCESS CONTROL SYSTEM.
    - ALL OF THESE DOORS ARE TO BE PROVIDED WITH ELECTRIC CIRCUIT, WIRING AND WIREMOLD TRIM AS REQUIRED BY ELECTRICAL CONTRACTOR UNDER THE BASE BID. ALL WIRING SHOULD BE CONCEALED ABOVE ACT CEILINGS, BEHIND NEW WOOD WALL PANEL SYSTEM, AND OTHERWISE CONCEALED WHERE POSSIBLE.
    - ALL EXISTING ROUGH OPENING SIZES ARE TO BE FIELD VERIFIED AND COORDINATED WITH THE BALLISTIC STOREFRONT MANUFACTURER PRIOR TO SUBMITTING SHOP DRAWINGS, AND AS REQUIRED TO ENSURE PROPER FIT. ALL TRIM, BRAKE METAL, SEALANTS, ANCHORS, ETC. ARE TO BE PROVIDED AS REQUIRED BY THE BALLISTIC STOREFRONT MANUFACTURER TO MAINTAIN THE INDICATED BALLISTIC RATING. INCLUDE ALL REQUIRED ACCESSORIES & TRIM IN SHOP DRAWING SUBMITTAL.
  - ELECTRICAL ELEMENTS, TRIM & ACCESSORIES:**
    - PRIOR TO WORK, THE CONTRACTOR IS REQUIRED TO FIELD COORDINATE NEW WALL PANEL SYSTEM w/ ALL EXISTING WALL ELEMENTS (POWER & DATA OUTLETS, WALL BOXES, SWITCHES, TRIM, ACCESSORIES, etc) AND SUBMIT DETAILED AND DIMENSIONED SHOP DRAWINGS w/ THE WALL PANEL SYSTEM SUBMITTALS. THE SHOP DRAWINGS SHALL INDICATE EXISTING WALL LOCATIONS, NEW WALL PANEL SUPPORTS AND PANEL LAYOUT COORDINATED w/ PROPOSED LOCATIONS FOR RELOCATED WALL ELEMENTS. ALL DETAILS AND FINAL LOCATIONS TO BE APPROVED BY THE ARCHITECT PRIOR TO WORK.
    - THE CONTRACTOR IS REQUIRED TO ENSURE PLACEMENT OF WALL ELEMENTS WITHIN THE PANEL SYSTEM AND TO AVOID CONFLICTS w/ PANEL SUPPORTS, SEAMS AND EDGES. SWITCHES AND OUTLETS ARE TO BE GANGED TOGETHER WHERE PRACTICABLE.
    - PROVIDE NEW RECTANGULAR "DESIGNER" RECEPTACLES, SWITCHES, COVER PLATES, etc FOR ALL WALL ELEMENTS BY LEGRAND, RADIANT SERIES, OR APPROVED EQUAL.
    - THE SUSPENDED CEILING TILE AND GRID SYSTEM IN THE MAYOR'S OFFICE IS BEING REPLACED UNDER THE BASE BID. ALL EXISTING CEILING FIXTURES (SHOWN AS AN UNDERLAY ON THE FLOOR PLANS) ARE TO BE CAREFULLY SECURED PRIOR TO DEMOLITION AND PROTECTED FROM DAMAGE. ALL EXISTING FIXTURES ARE TO BE RE-INSTALLED IN THE NEW CEILING. THE CONTRACTOR IS TO PROVIDE ALL WORK AND MATERIALS REQUIRED FOR RE-INSTALLATION. FIELD VERIFY AND COORDINATE HEIGHT OF EXISTING CEILING & MATCH.
  - NEW DIMENSIONAL LETTERS:**
    - DEMO EXISTING WALL SIGNAGE LIGHTING & PROVIDE NEW HALO-LIT DIMENSIONAL LETTERS ATTACHED TO NEW PANEL SYSTEM w/ CONCEALED WIRING CONNECTED TO EXISTING LIGHTING WIRING & CIRCUIT. PROVIDE ALL CONTROLS, POWER ADAPTERS / TRANSFORMERS AS REQUIRED FOR INSTALLATION & COORDINATE w/ PANEL SYSTEM MFR AS REQUIRED TO ENSURE ALL CLEARANCES FOR INSTALLATION.

CONSTRUCTION DOCUMENTS 10/28/24



CITY HALL SECURITY UPGRADES  
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MA PROJECT NUMBER: 23012

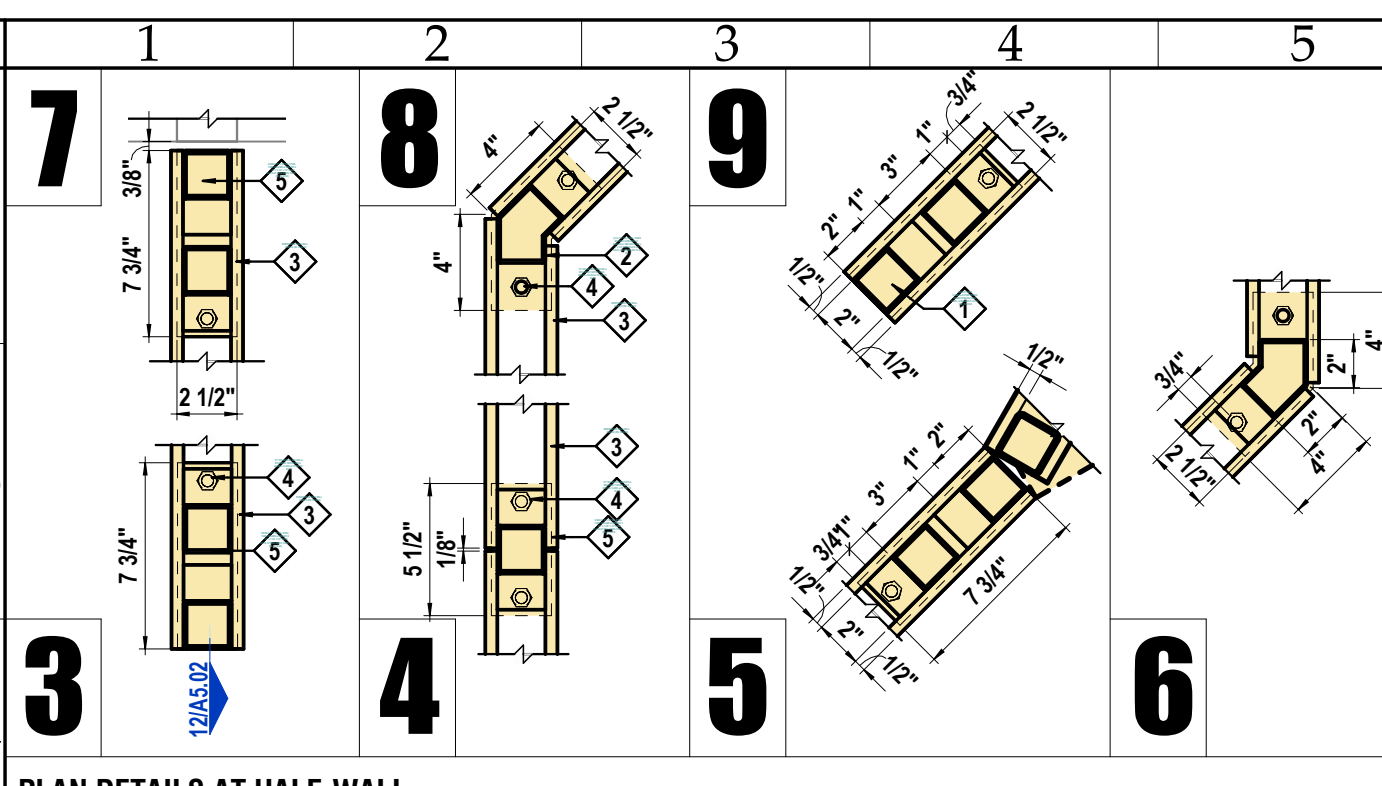
MARK	REVISION	DATE
00	PROJ RESTART (BID 02)	10/28/24

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW CONSTRUCTION
- SMOKE RATED ASSEMBLY
- 1 HR FIRE RATED ASSEMBLY
- 2 HR FIRE RATED ASSEMBLY

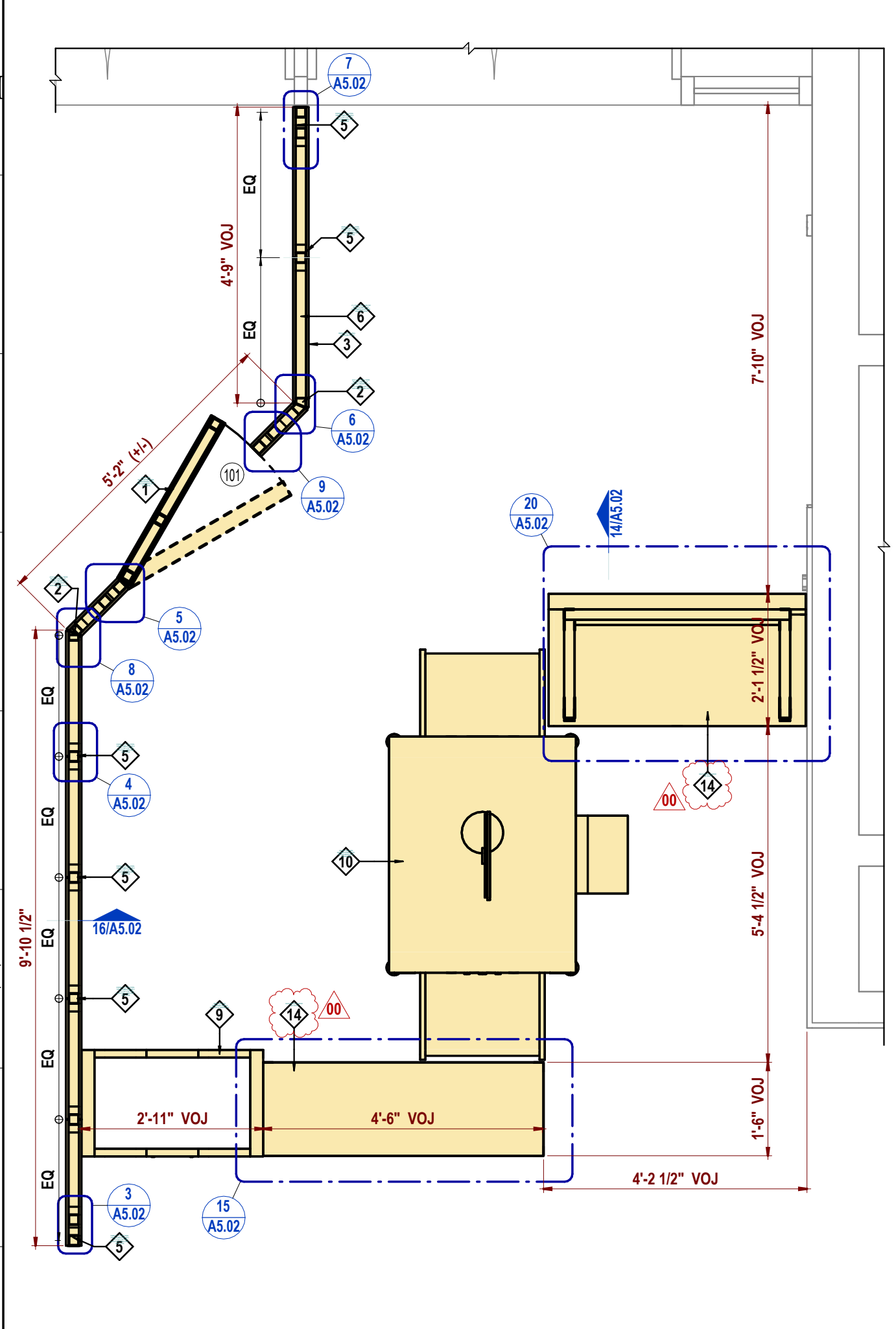
NEW REFLECTED CEILING PLAN

A2.30

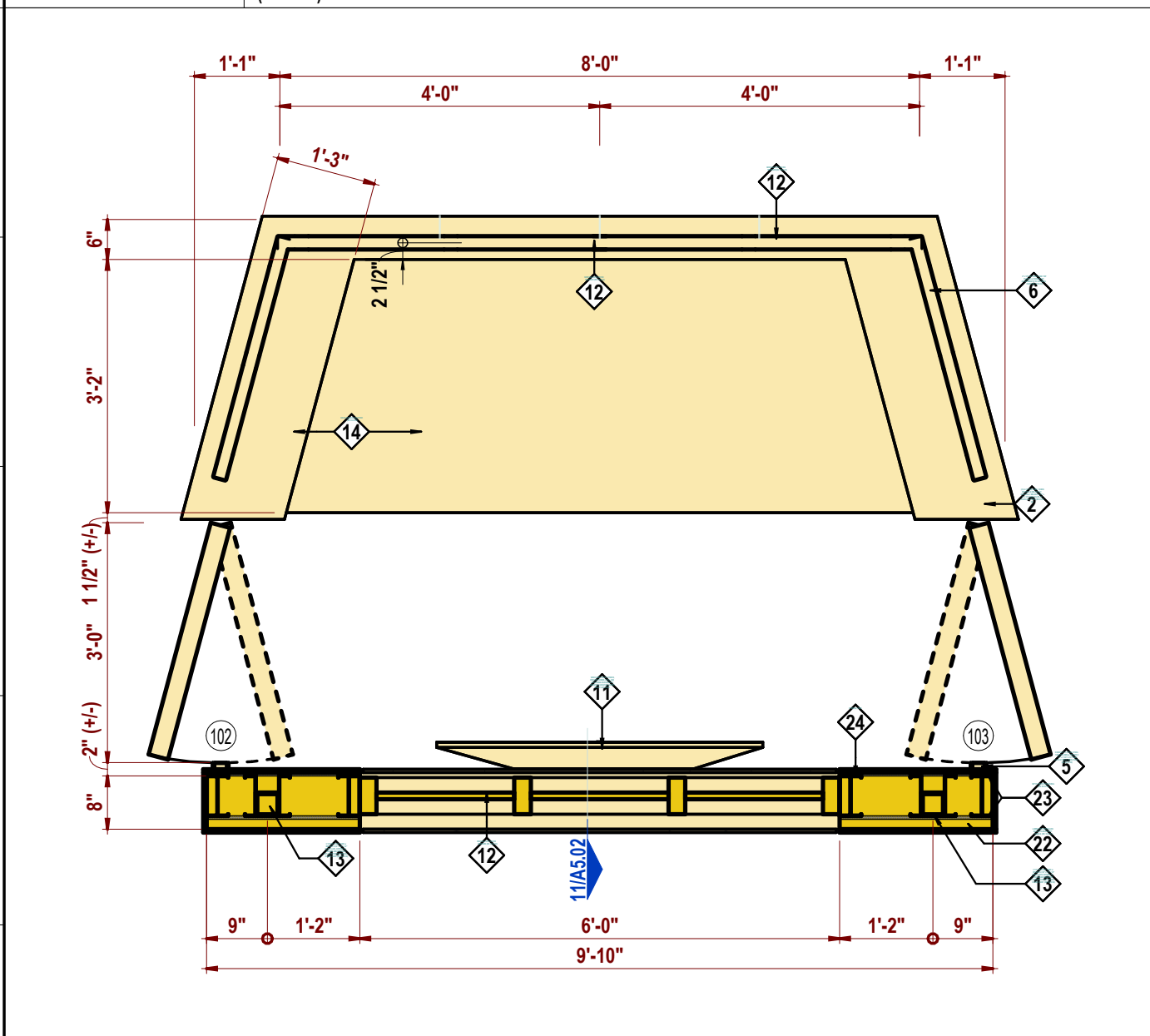
24-1023 10:20:45 AM



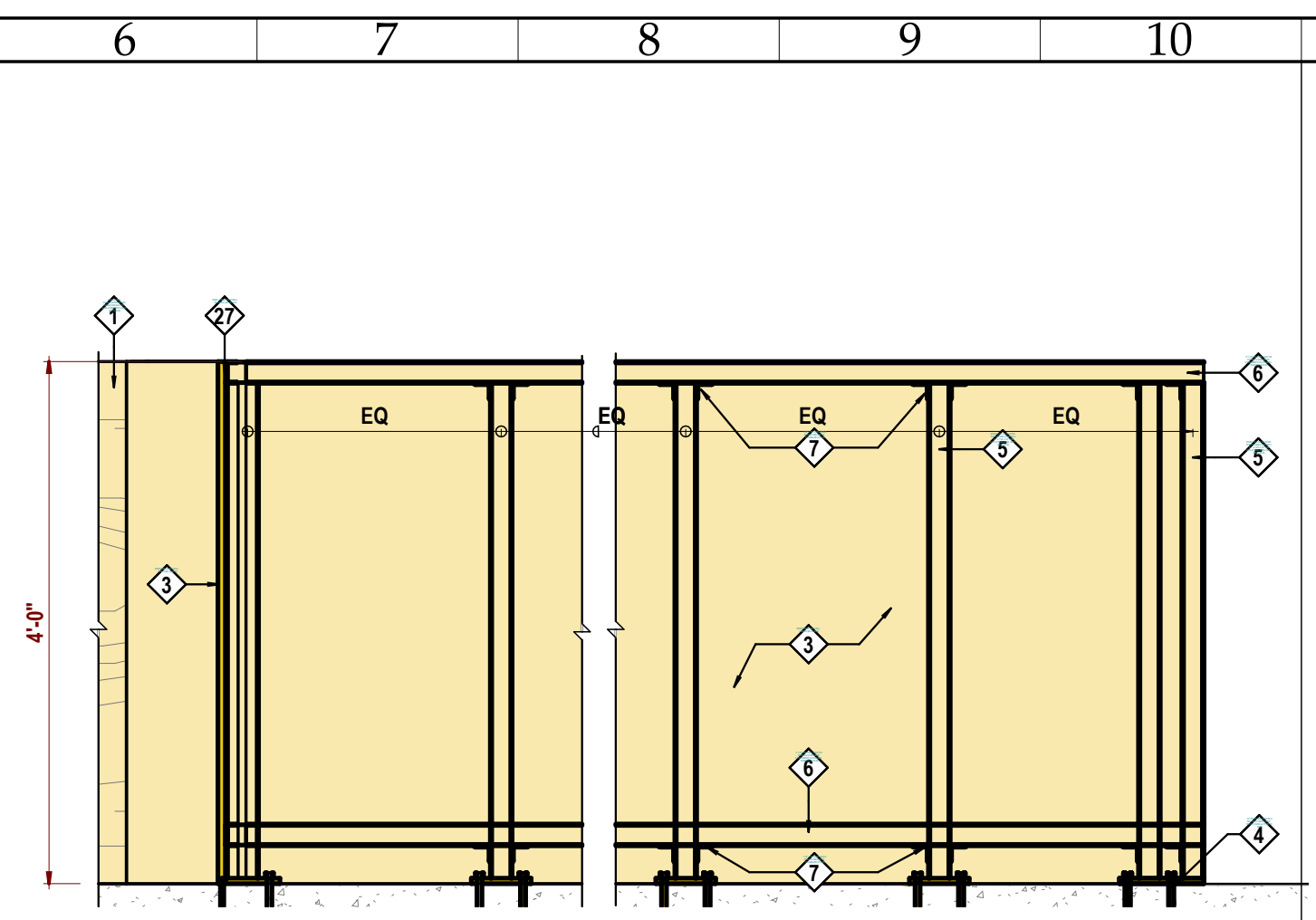
**PLAN DETAILS AT HALF-WALL**  
1/12" = 1'-0"  
(3/A5.02)



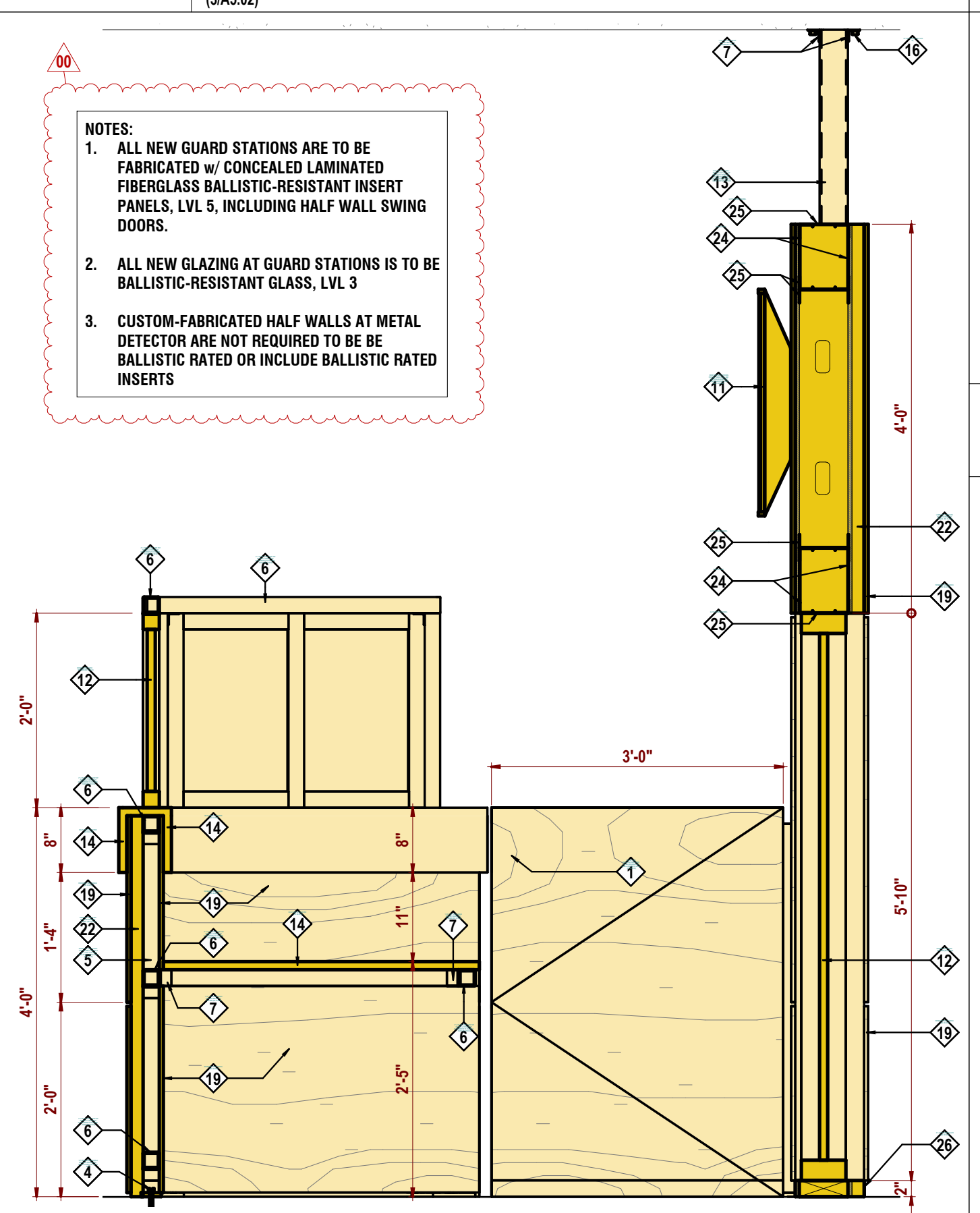
**PLAN DETAIL AT METAL DETECTOR ENTRANCE**  
1/12" = 1'-0"  
(4/A2.20)



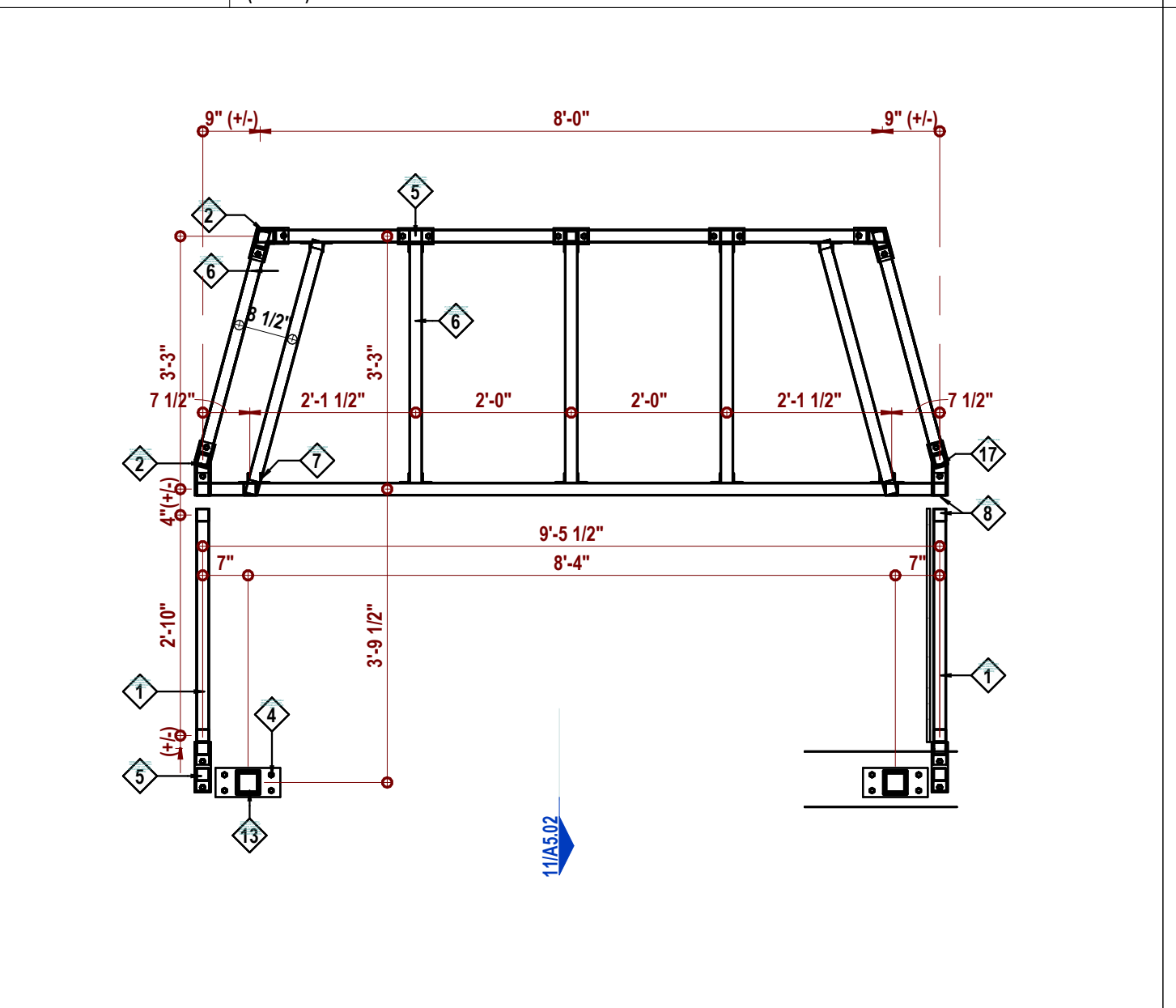
**PLAN DETAIL AT PERMANENT GUARD STATION**  
1/12" = 1'-0"  
(4/A2.20)



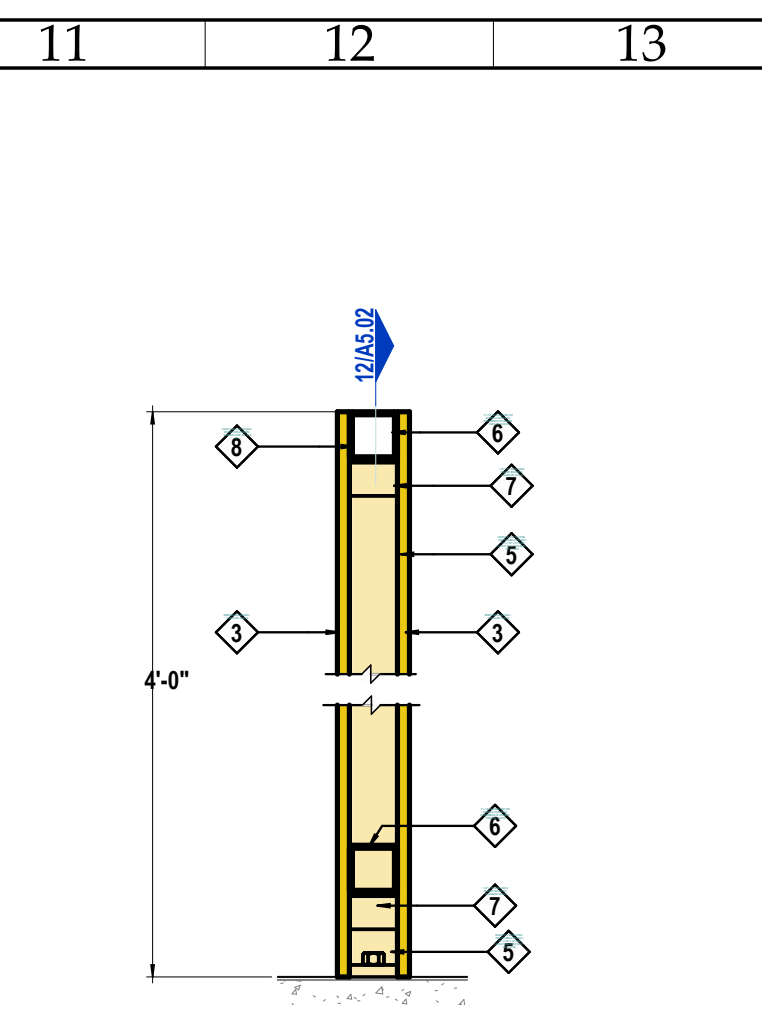
**SECTION AT HALF-WALL**  
3/4" = 1'-0"  
(3/A5.02)



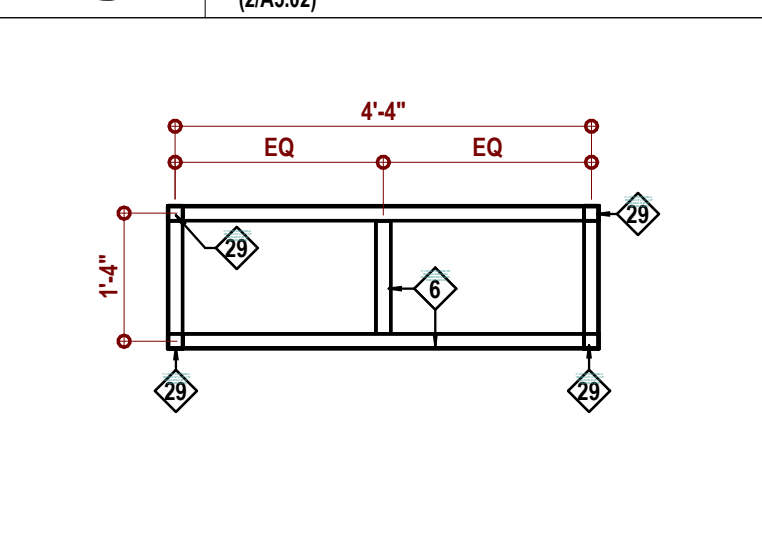
**SECTION AT SEMI-PERMANENT GUARD STATION**  
3/4" = 1'-0"  
(4/A2.20)



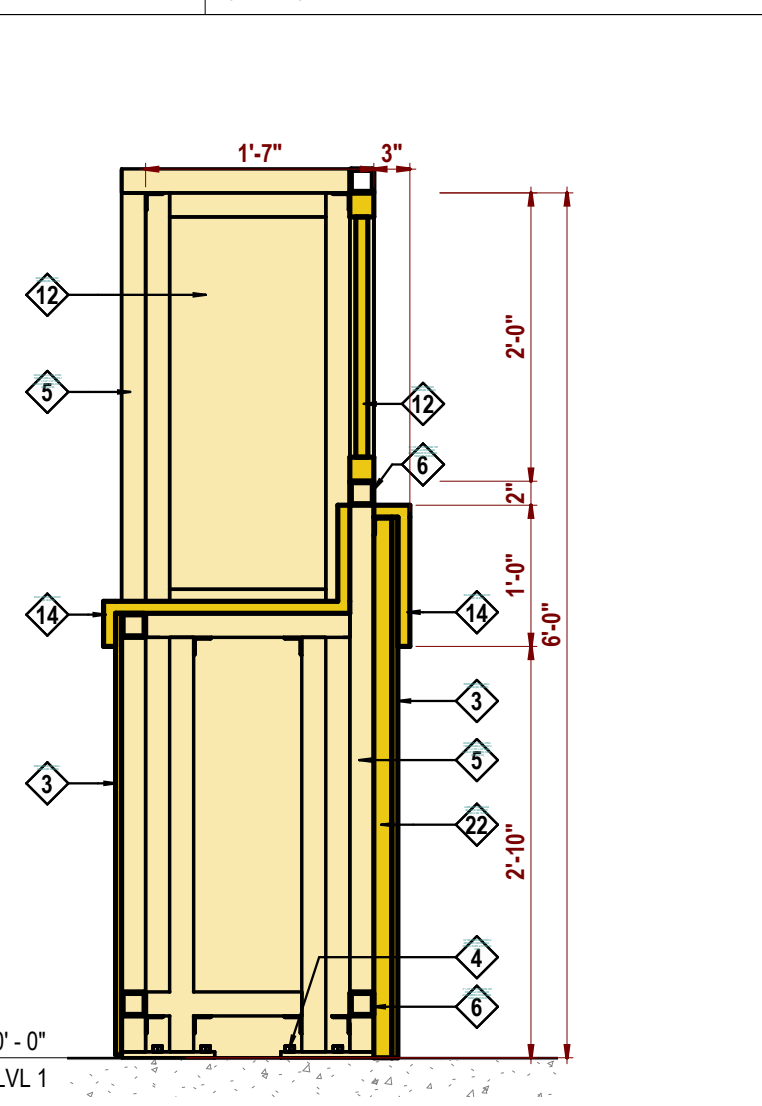
**PLAN DETAIL AT PERMANENT GUARD STATION FRAMING**  
1/12" = 1'-0"  
(4/A2.20)



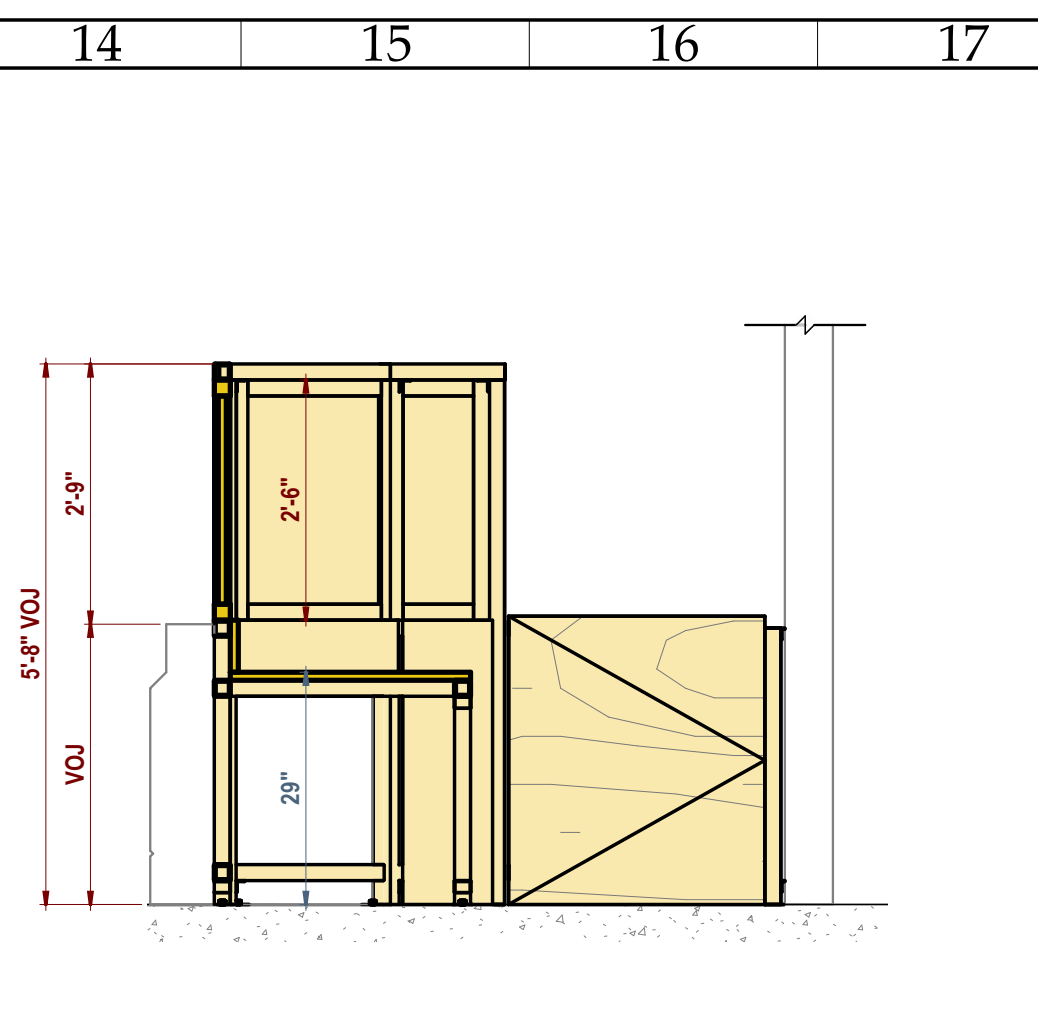
**CROSS SECTION AT HALF WALL**  
1/12" = 1'-0"  
(2/A5.02)



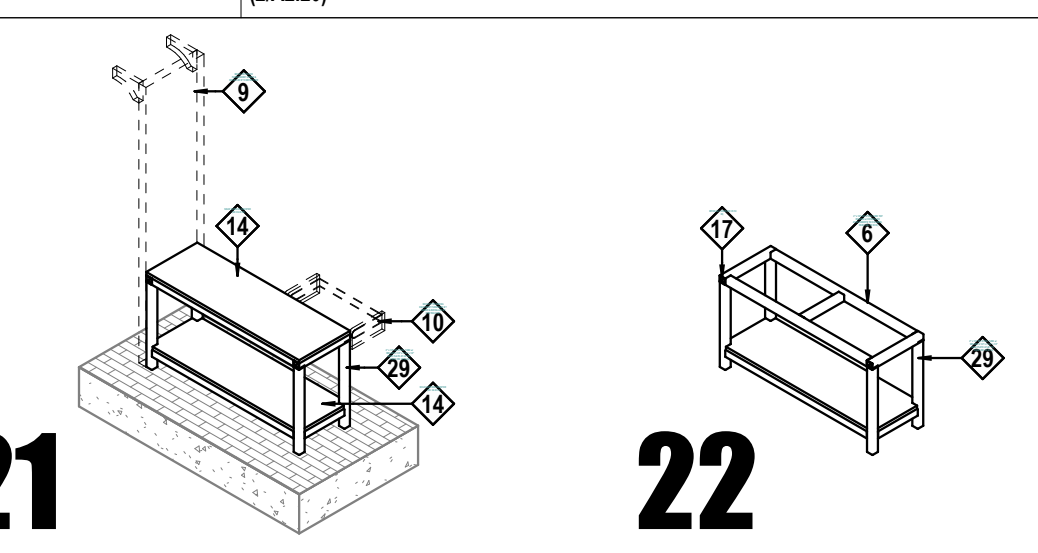
**DETAILS AT WORKTABLE**  
1/12" = 1'-0"  
(2/A5.02)



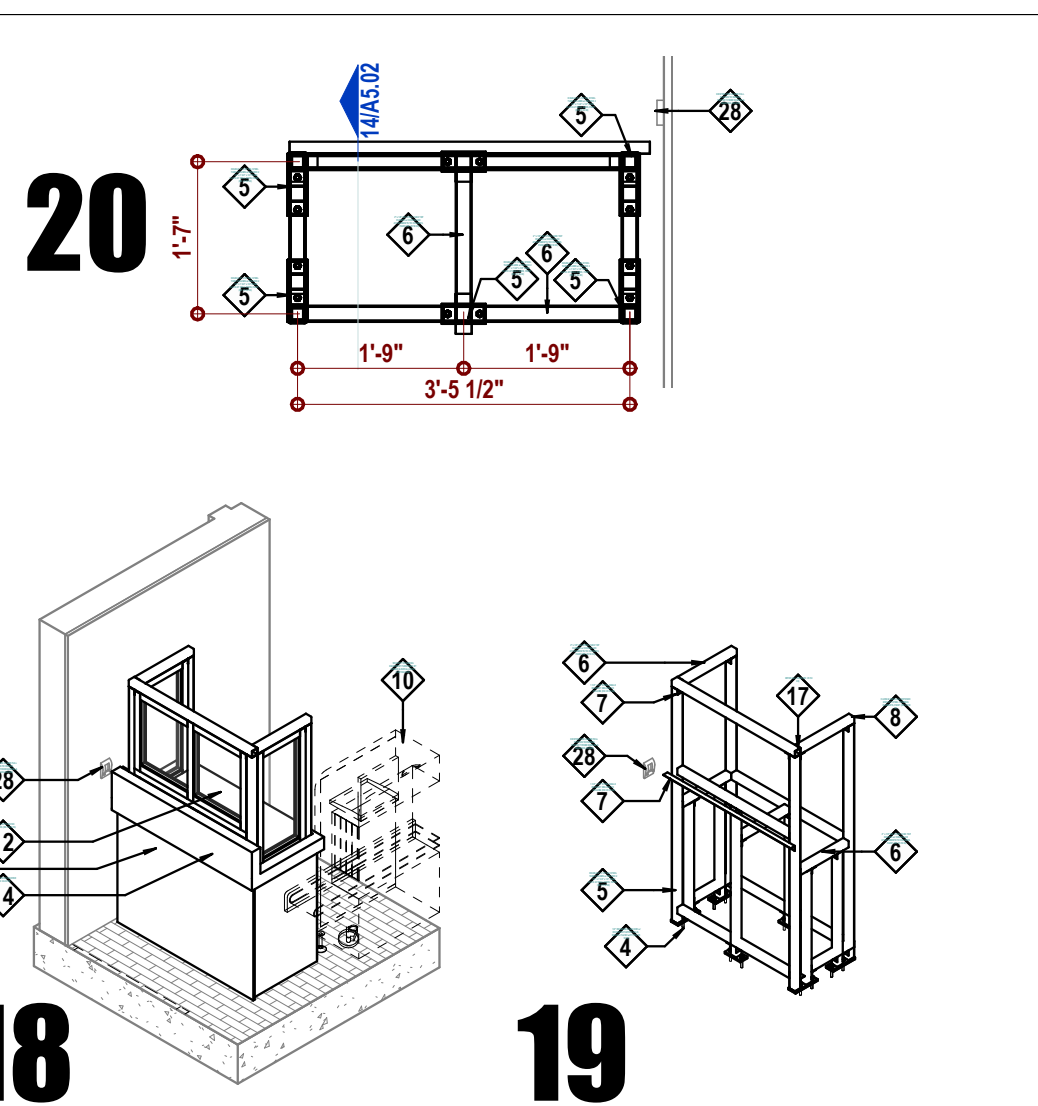
**DETAILS AT SEMI-PERMANENT GUARD STATION**  
3/4" = 1'-0"  
(4/A2.20)



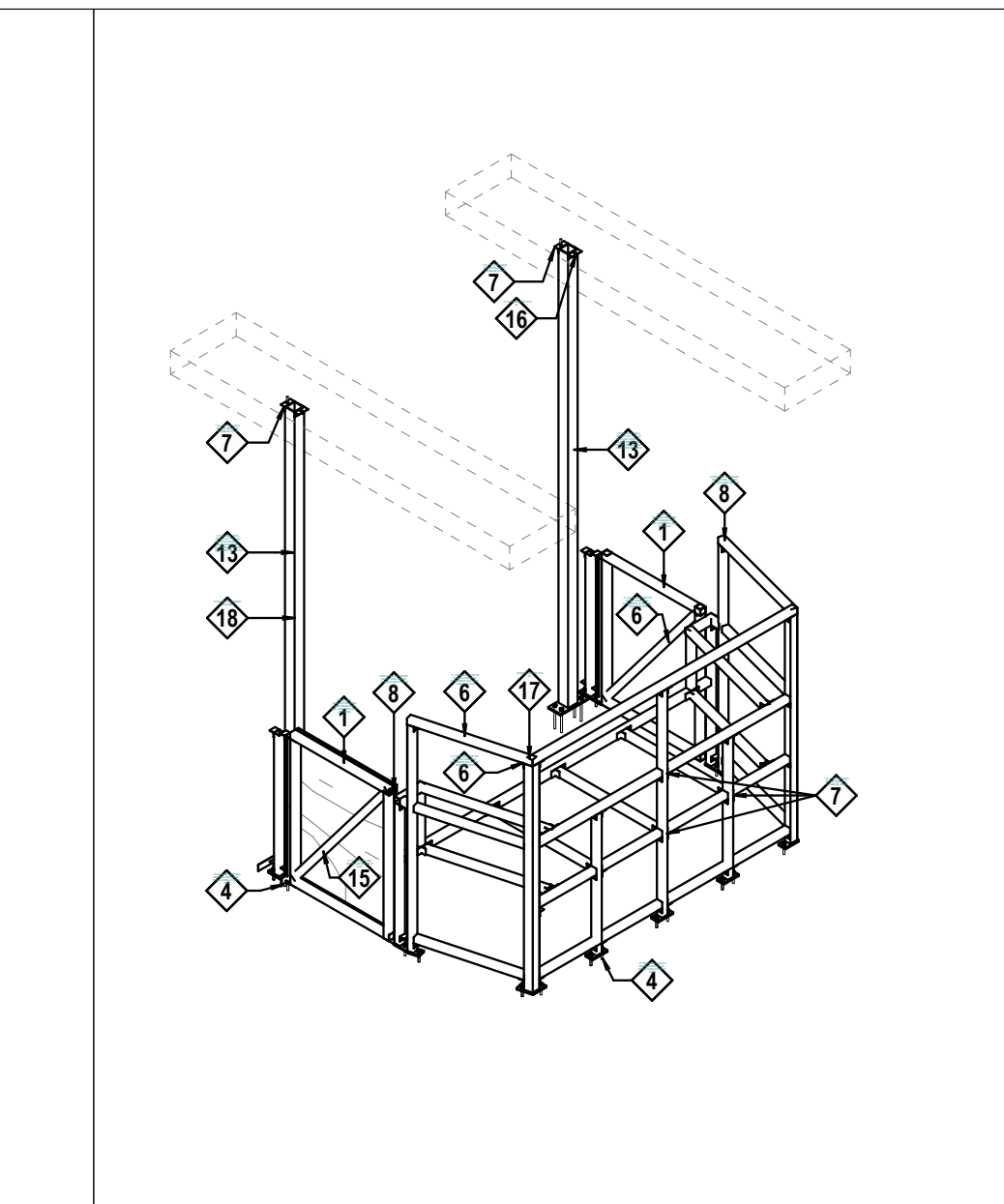
**SECTION AT EXISTING GUARD STATION**  
1/12" = 1'-0"  
(2/A2.20)



**NEW WORK AT EXISTING GUARD STATION**  
1/12" = 1'-0"  
(3/A2.20)



**AXON AT NEW GUARD STATION**  
?



**AXON AT NEW GUARD STATION FRAMING**  
?

KEYNOTE LEGEND	
KEY	KEYNOTE
1	NEW 48" HIGH DOUBLE-ACTING SPRING HINGED NON-BALLISTIC PANEL w/ MAGNETIC LATCH (RE: 05 50 00)
2	(2) 2x 1/8" SQ. STEEL TUBES MITERED & WELDED AT ANGLES w/ WELDED 2 1/2" x 4" x 1/2" BASE PLATE AT EACH LEG, PAINT (RE: 05 50 00)
3	REMOVABLE HALF-WALL PANELS (RE: 06 20 00)
4	1/2" REUSABLE ANCHOR w/ RECESSED TAPPED HOLE, INSTALL FLUSH w/ FF (RE: 05 50 00)
5	DOUBLE 2" x 1/8" SQ. STEEL TUBE COLUMN w/ WELDED 2 1/2" x 7 3/4" x 1/2" BASE PLATE AT WALL ENDS, PAINT (RE: 05 50 00)
6	2" x 1/8" SQ. STEEL TUBE TOP RUNNER w/ CONCEALED ATTACHMENTS TO COLUMNS, PAINT (RE: 05 50 00)
7	1 1/2" x 1/8" STEEL TUBE ANGLE BRACKET WELDED TO COLUMN (RE: 05 50 00)
8	CLOSE & WELD ALL EXPOSED ENDS OF STEEL FRAMING ELEMENTS, PAINT (RE: 05 50 00)
9	METAL DETECTOR FURNISHED BY OWNER & INSTALLED BY CONTRACTOR
10	SECURITY SCANNING EQUIPMENT FURNISHED BY OWNER & INSTALLED BY CONTRACTOR
11	VIDEO MONITOR BY OTHERS, PROVIDE POWER, DATA, AND ADDITIONAL BLOCKING AT MOUNTING LOCATION, VERIFY EXACT LOCATION
12	NEW BALLISTIC-RATED WINDOWS (RE: 08 56 53)
13	3 1/2" SQ. STEEL TUBE w/ WELDED 4 1/2" x 10" x 1/2" BASE PLATE, EXTEND TO CEILING AND PROVIDE CUT-OUTS FOR ELECTRICAL CHASE, PAINT (RE: 05 50 00)
14	SOLID SURFACE COUNTER (RE: 06 20 00)
15	2" x 1/8" SQ. STEEL TUBE DIAGONAL BRACING (RE: 05 50 00)
16	1/2" ANCHOR BOLT (RE: 05 50 00)
17	MITER ALL JOINS (RE: 05 50 00)
18	ATTACH MTL STUD FRAMING TO COLUMNS
19	PERMANENT WALL PANELS (RE: 06 20 00)
20	PANEL HANGING SYSTEM w/ REVEAL (RE: 05 50 00)
21	NEW NON-BALLISTIC SEMI-PERMANENT 48" HIGH SECURITY PANELS (RE: 05 50 00)
22	LAMINATED FIBERGLASS BALLISTIC-RESISTANT PANELS (RE: 10 26 41)
23	5/8" PLYWOOD SHEATHING (RE: 06 20 00)
24	6" METAL STUD
25	6-3/16" RUNNER CHANNEL
26	2" x 1/8" ALUMINUM PLATE (RE: 05 50 00)
27	PANEL HANGING SYSTEM w/ NO REVEAL (RE: 05 50 00)
28	EXISTING FIRE ALARM PULL STATION TO REMAIN, PROTECT FROM DAMAGE & MAINTAIN ACCESS
29	2" x 1/8" SQ. STEEL TUBE w/ WELDED 2 1/2" x 5 1/2" x 1/2" BASE PLATE AT 48" OC, PAINT (RE: 05 50 00)
30	EXISTING PERMANENT GUARD STATION TO REMAIN

**NOTES:**

- ALL NEW GUARD STATIONS ARE TO BE FABRICATED w/ CONCEALED LAMINATED FIBERGLASS BALLISTIC-RESISTANT INSERT PANELS, LVL 5, INCLUDING HALF WALL SWING DOORS.
- ALL NEW GLAZING AT GUARD STATIONS IS TO BE BALLISTIC-RESISTANT GLASS, LVL 3
- CUSTOM-FABRICATED HALF WALLS AT METAL DETECTOR ARE NOT REQUIRED TO BE BALLISTIC RATED OR INCLUDE BALLISTIC RATED INSERTS



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MARK	REVISION	DATE
00	PROJ RESTART (BID 02)	10/28/24

**NEW PLAN DETAILS**

**A5.02**

MA PROJECT NUMBER: 23012

CONSTRUCTION DOCUMENTS  
10/28/24

SET NO.

ELECTRICAL GENERAL NOTES

- 1. ALL ELECTRICAL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AS ADOPTED BY THE AHJ... 2. THE WORDS 'PROVIDE' AND 'PROVIDED' AS USED HEREIN SHALL BE UNDERSTOOD TO MEAN, 'PROVIDE COMPLETE IN PLACE'...

SPECIAL SYSTEMS GENERAL NOTES

- 1. CONTRACTOR SHALL PROVIDE RACEWAYS AND BOXES AS REQUIRED TO ACCOMMODATE NEW SECURITY UPGRADES INCLUDING BUT NOT LIMITED TO CAMERAS AND INTERCOM... DEMOLITION GENERAL NOTES

Existing Branch Panel: AL-B

Table with columns: ABR, CKT, TRIP, POLES, WIRE, GND, CONDUIT, Circuit Description, A, B, C, Circuit Description, CONDUIT, GND, WIRE, POLES, TRIP, CKT, ABR. Includes details for 21 circuits and summary values.

Table with columns: Load Classification, Connected Load, Demand Factor, Estimated Demand, Panel Totals. Summary values: Total Conn. Load: 1760 VA, Total Est. Demand: 5 A.

Load Summary Notes:

PART 1.0 GENERAL

- 1.1 GENERAL CONDITIONS
A. The General Conditions and Supplementary General Conditions are a part of this section of these Specifications...
1.2 MINIMUM STANDARDS
A. Applicable rules of the National Electrical Code apply as a minimum standard for this contract...

PART 2.0 PRODUCTS

- 2.1 RACEWAYS AND FITTINGS
A. The following raceways shall be permitted for use:
a. EMT (Electric Metallic Tubing) - Interior concealed or exposed...
2.2 ELECTRICAL BOXES
A. Interior outlet boxes in concealed conduit systems shall be flush mounted...

2.6 VOICE & DATA STATION CABLES

- A. Voice and data station wiring shall be Category 6 enhanced (Cat 6e) communications wire and cable. Station Cable shall be four-pair, unshielded, twisted pair, inside-station cable...

PART 3.0 EXECUTION

- 3.1 WIRING - GENERAL
A. Unless otherwise specified, all wiring shall be installed in conduit...
3.2 CONDUIT - MATERIALS AND METHODS
A. Conduit shall be installed as per NEC and NEMA regulations...
3.3 ELECTRICAL BOXES
A. Boxes are not to be installed back to back in walls...

ELECTRICAL SYMBOL LEGEND

Table with columns: GENERAL, SECURITY (EQUIPMENT PROVIDED BY OWNER/OTHERS), WIRE, CONDUIT, AND RACEWAY, DISTRIBUTION, PUBLIC ADDRESS, TELECOMMUNICATIONS. Includes symbols for keynotes, conduits, and various boxes.

ELECTRICAL SHEET INDEX

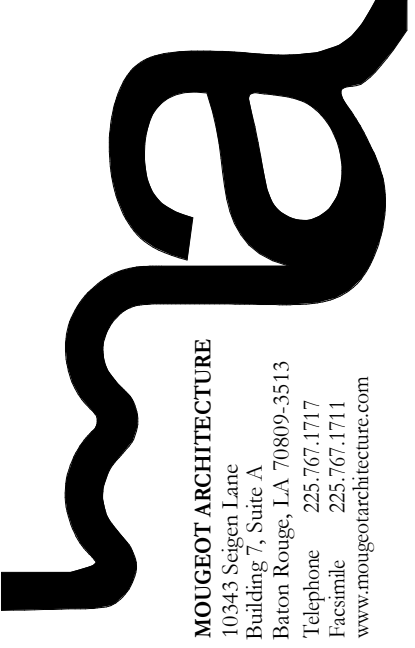
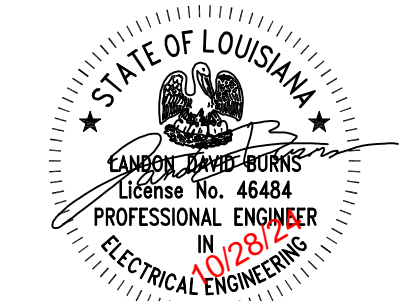
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ABBREVIATIONS

Table with columns: A, AF, AFF, AWG, C, CAT, D, DISC, FLA, GFCI, NEC, NIC. Lists abbreviations and their meanings.

ALL SYMBOLS, ABBREVIATIONS, AND NOTES ABOVE ARE TYPICAL AND ARE NOT NECESSARILY USED IN THESE CONSTRUCTION DOCUMENTS

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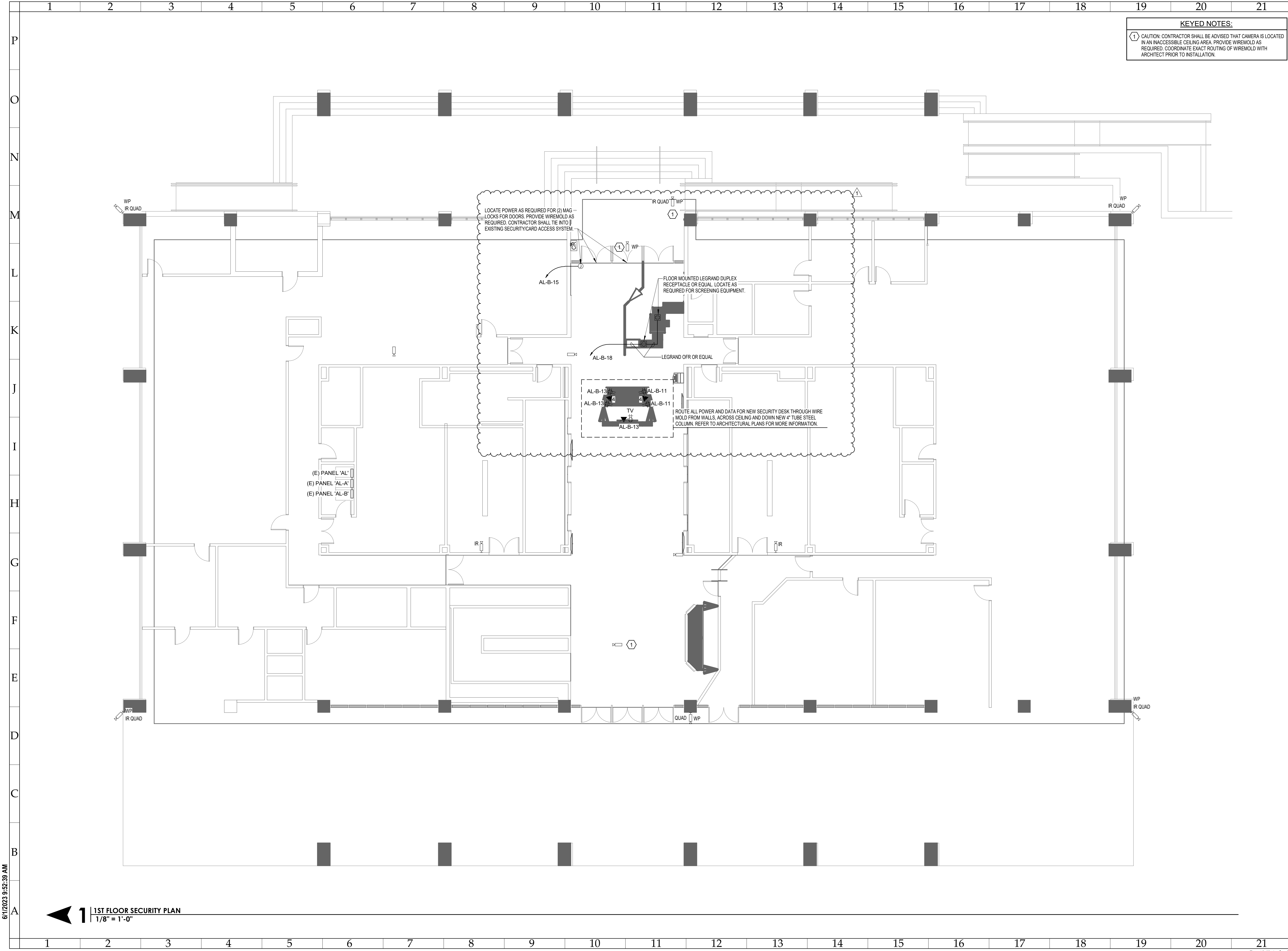
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Table with columns: MARK, REVISION, DATE. Includes a revision table with one entry: 1, ADDENDUM #1, 10/28/24.

ELECTRICAL COVER SHEET

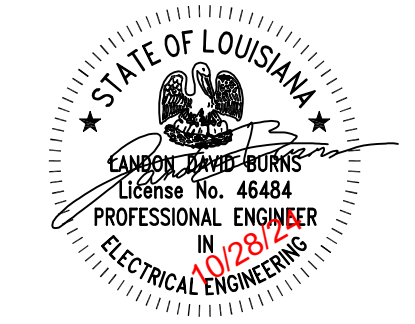
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KEYED NOTES:  
 ① CAUTION: CONTRACTOR SHALL BE ADVISED THAT CAMERA IS LOCATED IN AN INACCESSIBLE CEILING AREA. PROVIDE WIREMOLD AS REQUIRED. COORDINATE EXACT ROUTING OF WIREMOLD WITH ARCHITECT PRIOR TO INSTALLATION.

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1	ADDENDUM #1	10/28/24

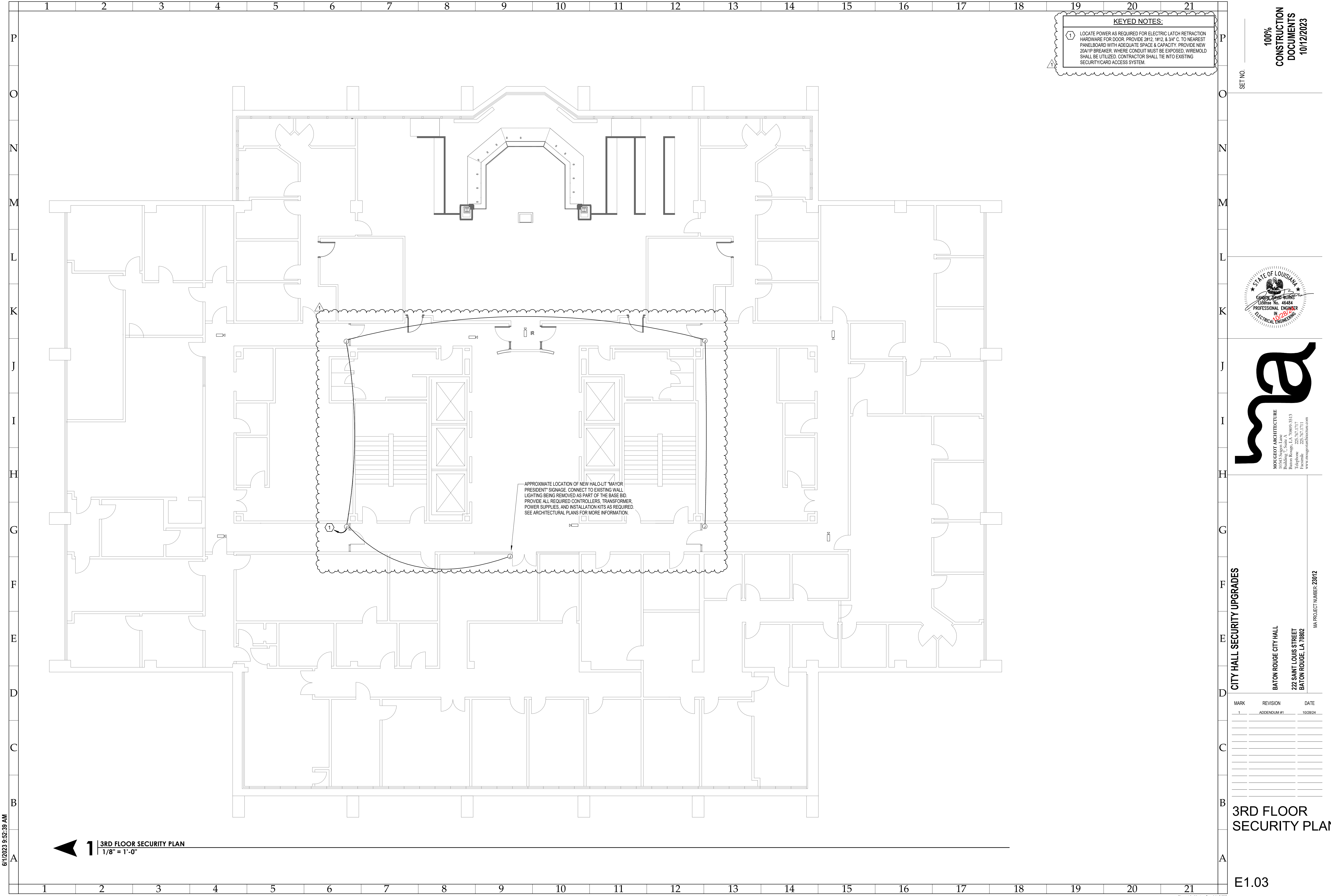
1ST FLOOR  
 SECURITY PLAN

E1.01

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**1** 1ST FLOOR SECURITY PLAN  
 1/8" = 1'-0"



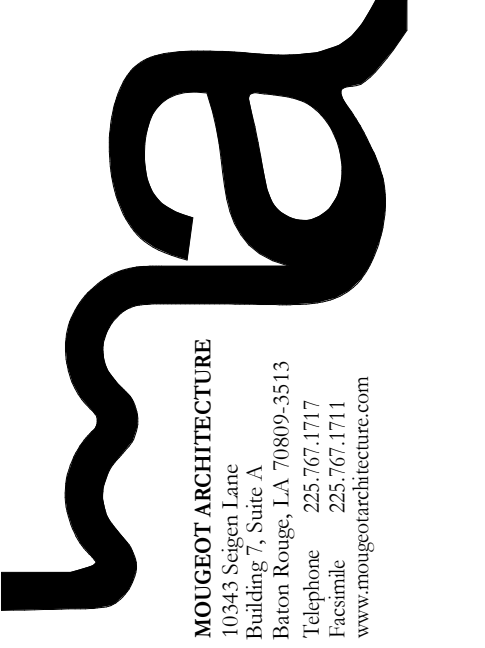
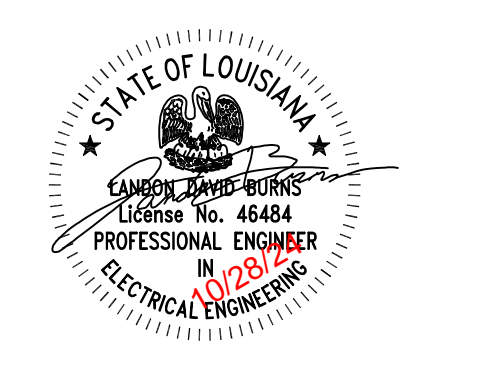


**KEYED NOTES:**

① LOCATE POWER AS REQUIRED FOR ELECTRIC LATCH RETRACTION HARDWARE FOR DOOR. PROVIDE 2#12, #12 & 3/4" C. TO NEAREST PANELBOARD WITH ADEQUATE SPACE & CAPACITY. PROVIDE NEW 20A/1P BREAKER. WHERE CONDUIT MUST BE EXPOSED, WIREMOLD SHALL BE UTILIZED. CONTRACTOR SHALL TIE INTO EXISTING SECURITYCARD ACCESS SYSTEM.

APPROXIMATE LOCATION OF NEW HALO-LIT "MAYOR PRESIDENT" SIGNAGE. CONNECT TO EXISTING WALL LIGHTING BEING REMOVED AS PART OF THE BASE BID. PROVIDE ALL REQUIRED CONTROLLERS, TRANSFORMER, POWER SUPPLIES, AND INSTALLATION KITS AS REQUIRED. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.

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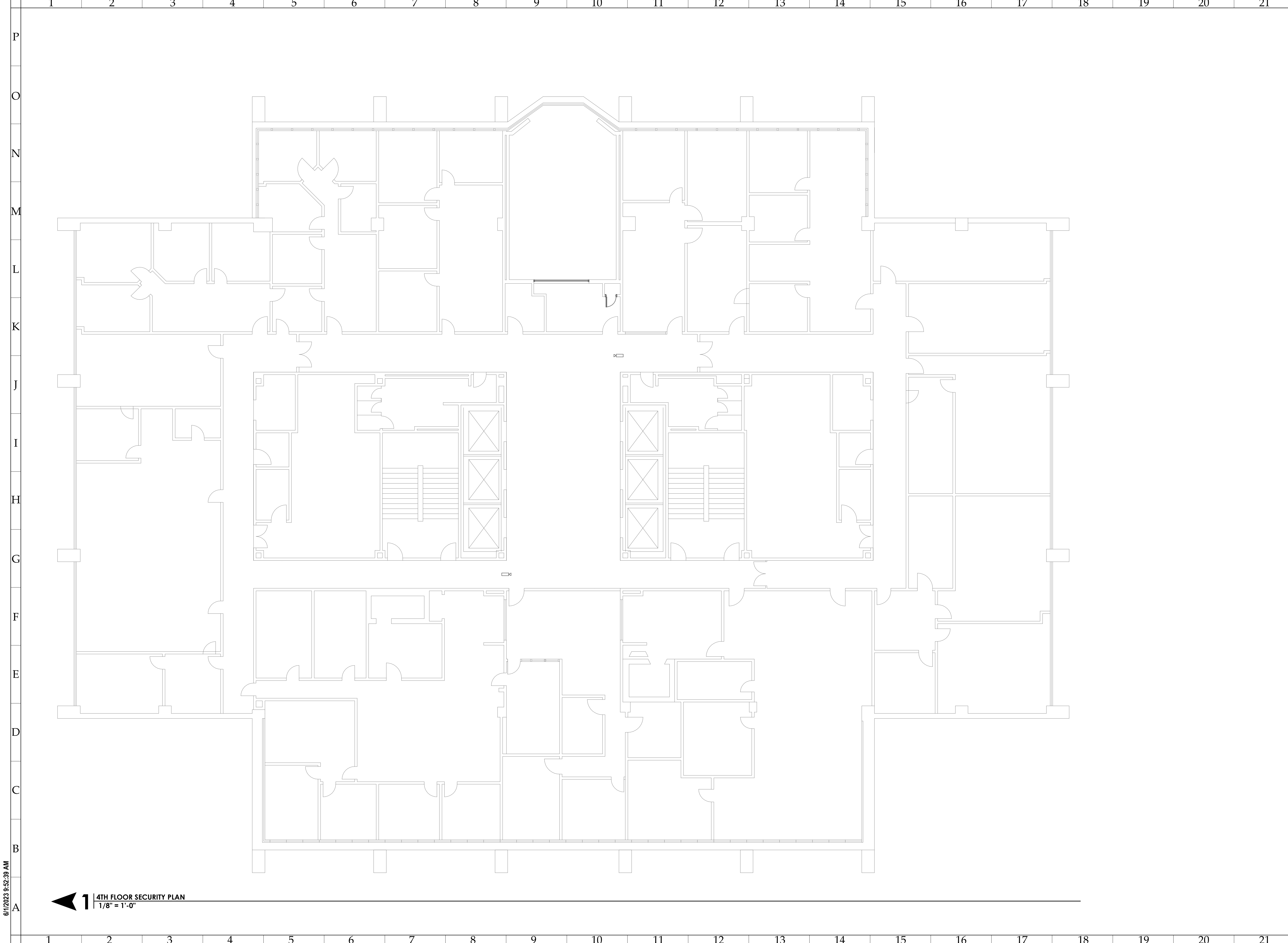
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**3RD FLOOR SECURITY PLAN**

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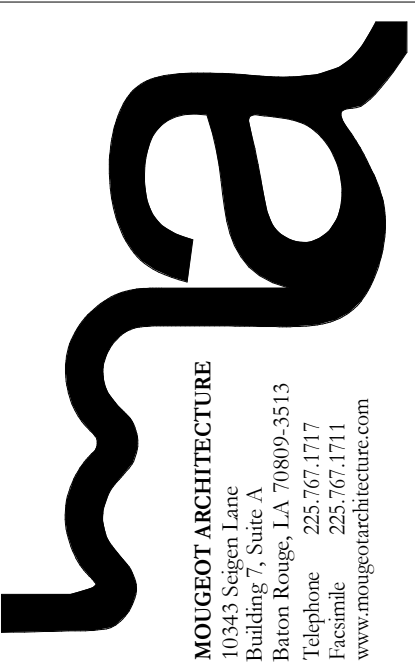
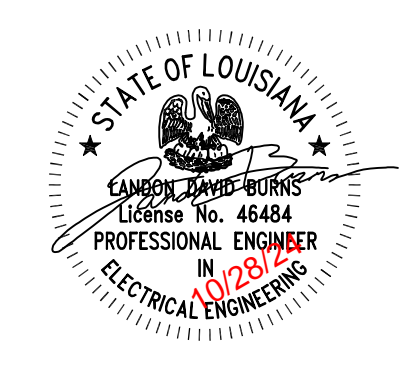
**1 | 3RD FLOOR SECURITY PLAN**  
1/8" = 1'-0"

E1.03



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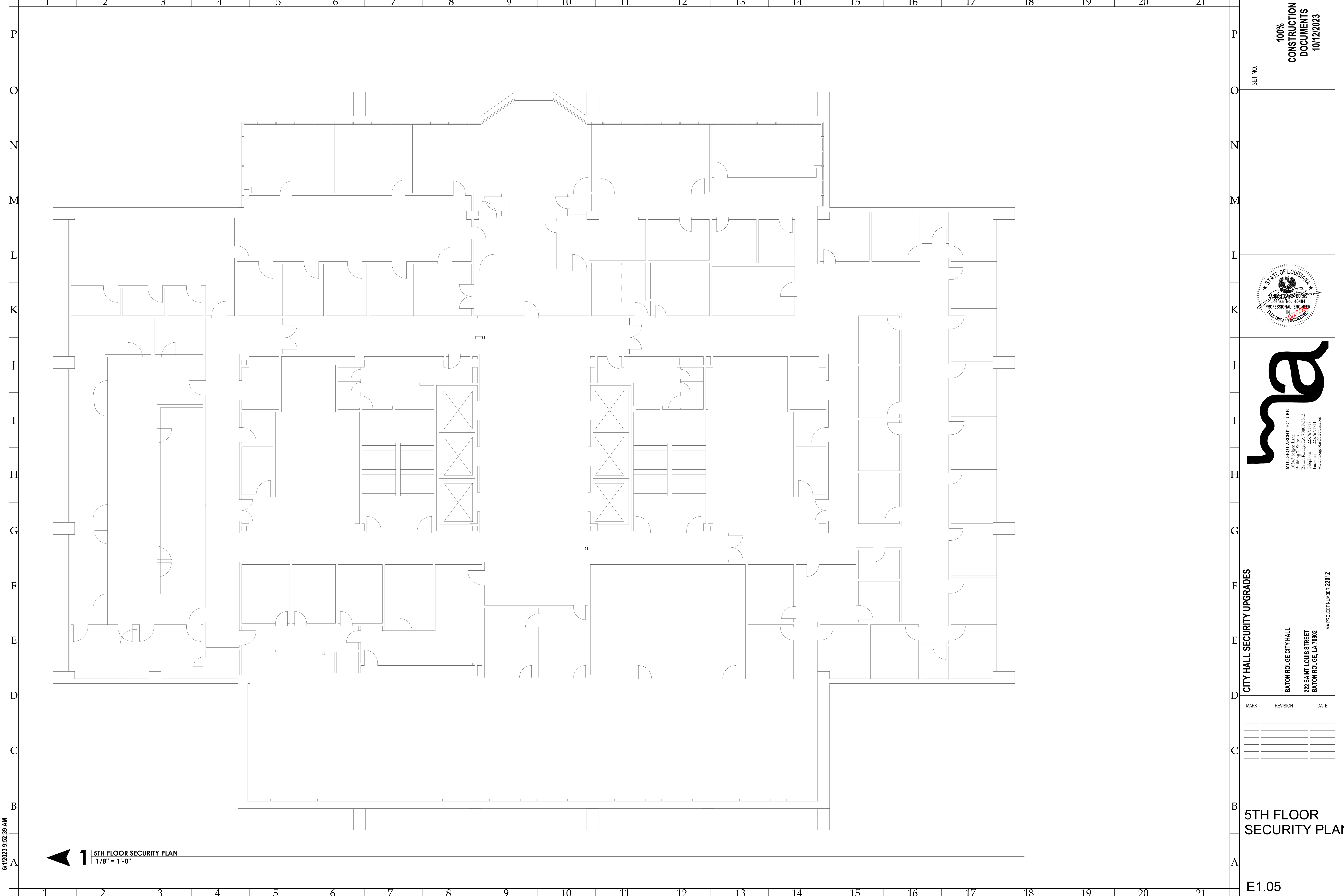
MARK	REVISION	DATE

4TH FLOOR  
SECURITY PLAN

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1 4TH FLOOR SECURITY PLAN  
1/8" = 1'-0"

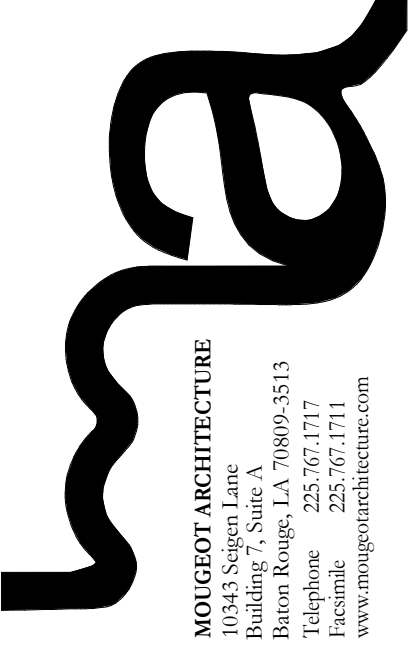
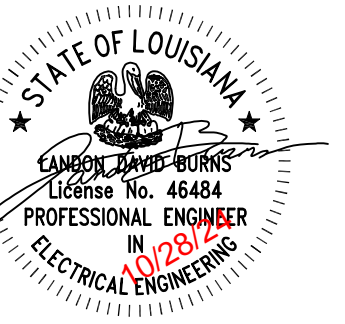


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**1** 5TH FLOOR SECURITY PLAN  
1/8" = 1'-0"

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**5TH FLOOR  
SECURITY PLAN**

E1.05



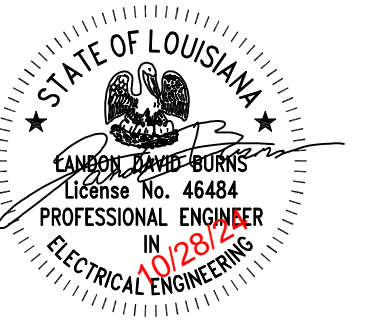


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**1** 6TH FLOOR SECURITY PLAN  
1/8" = 1'-0"

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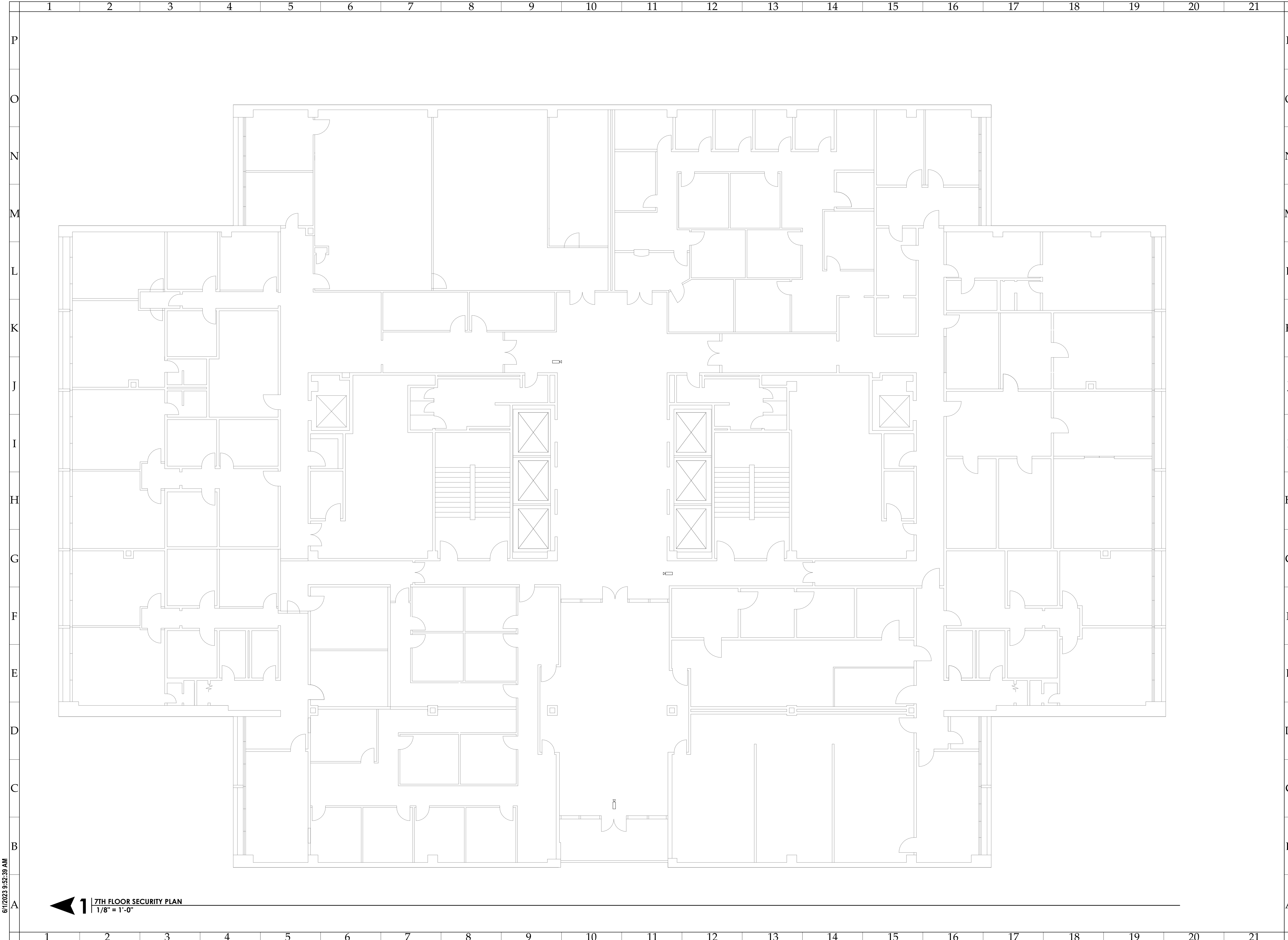
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**6TH FLOOR  
SECURITY PLAN**

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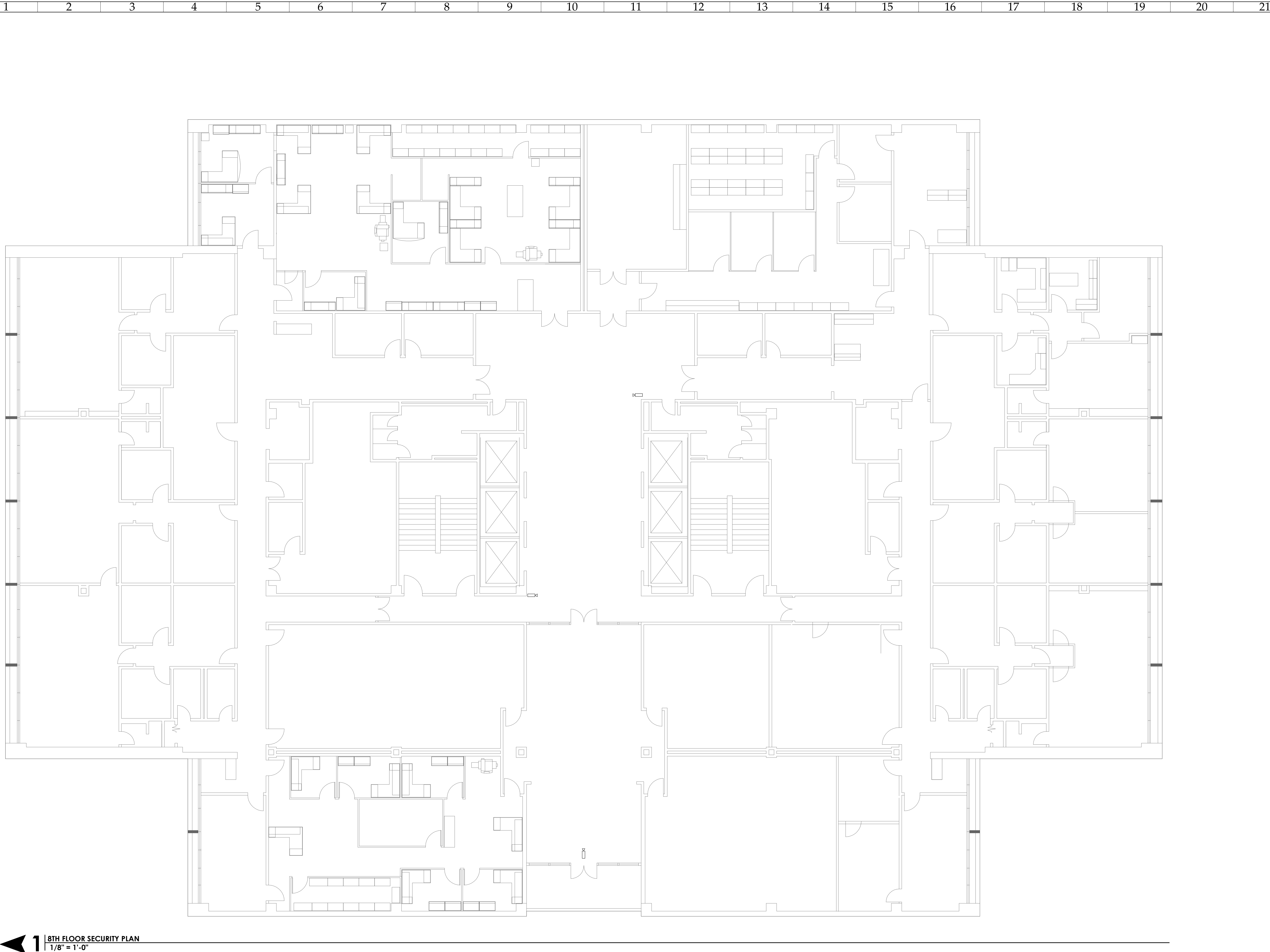
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7TH FLOOR SECURITY PLAN

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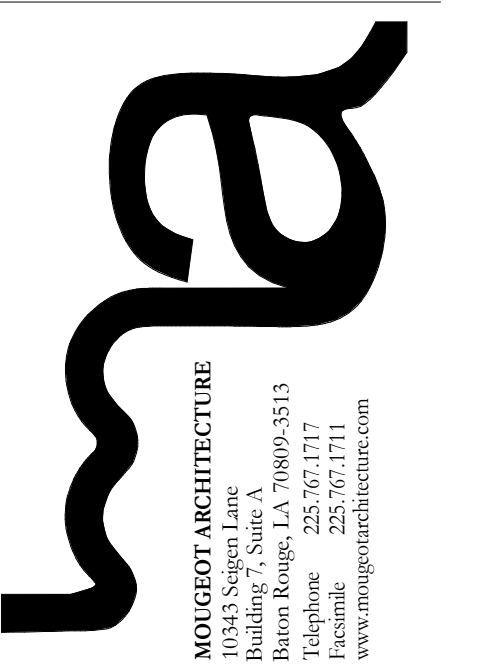
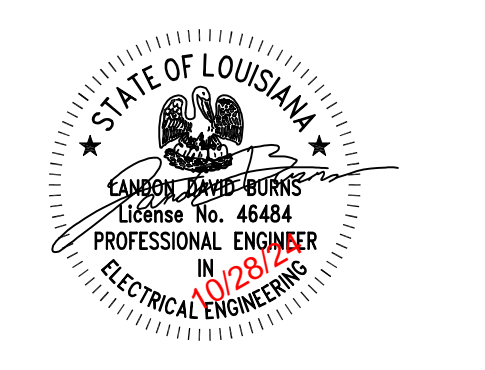
**1** 7TH FLOOR SECURITY PLAN  
1/8" = 1'-0"

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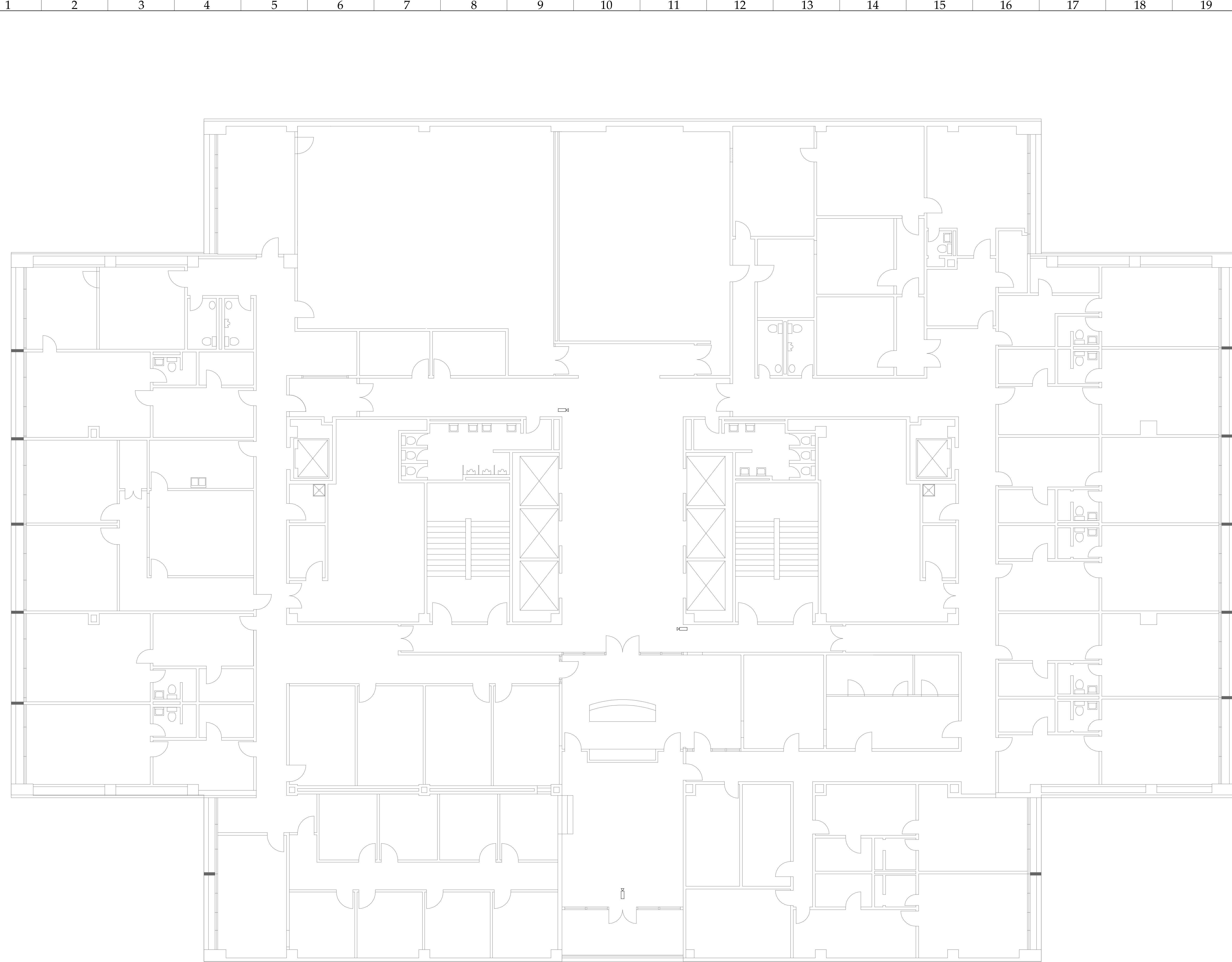
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### 8TH FLOOR SECURITY PLAN

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1 | 8TH FLOOR SECURITY PLAN  
1/8" = 1'-0"

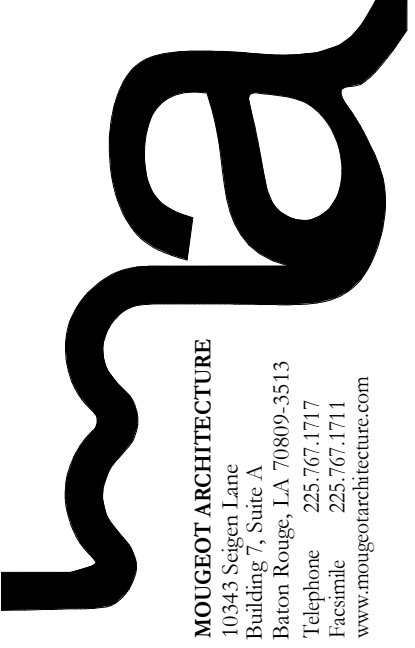
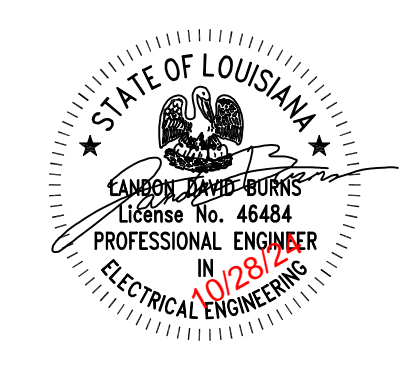


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**1** 9TH FLOOR SECURITY PLAN  
1/8" = 1'-0"

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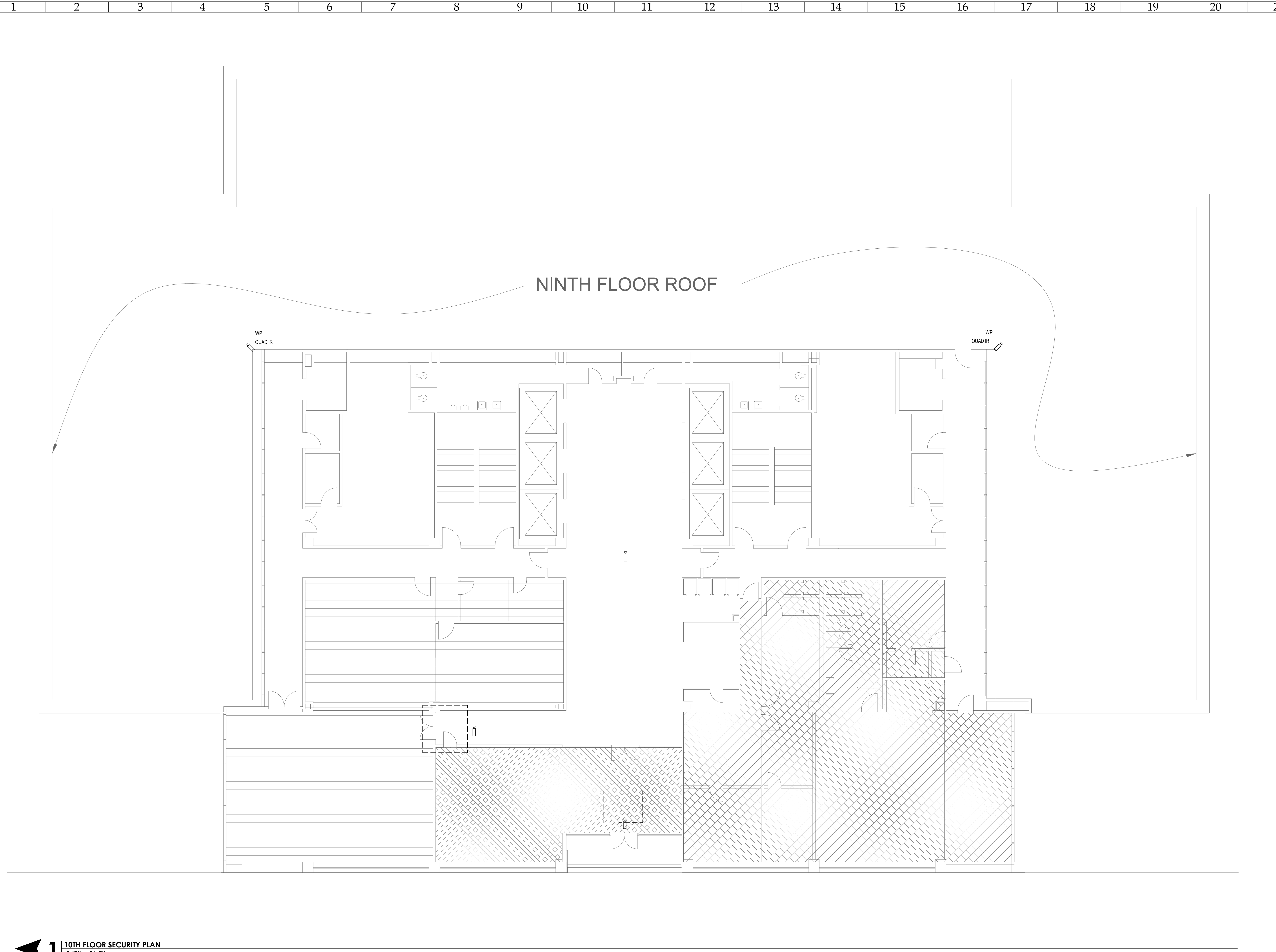
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9TH FLOOR  
SECURITY PLAN

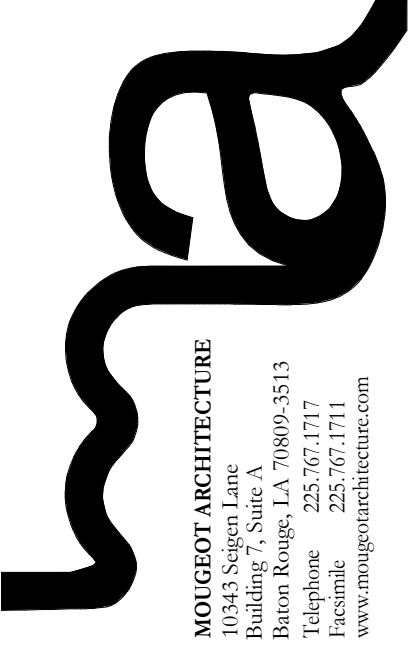
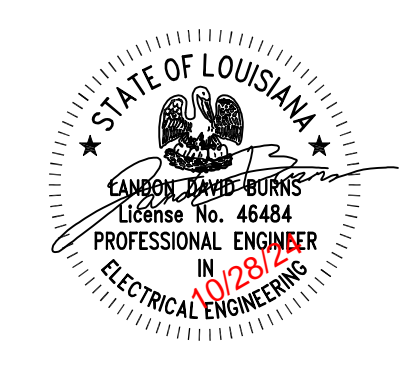
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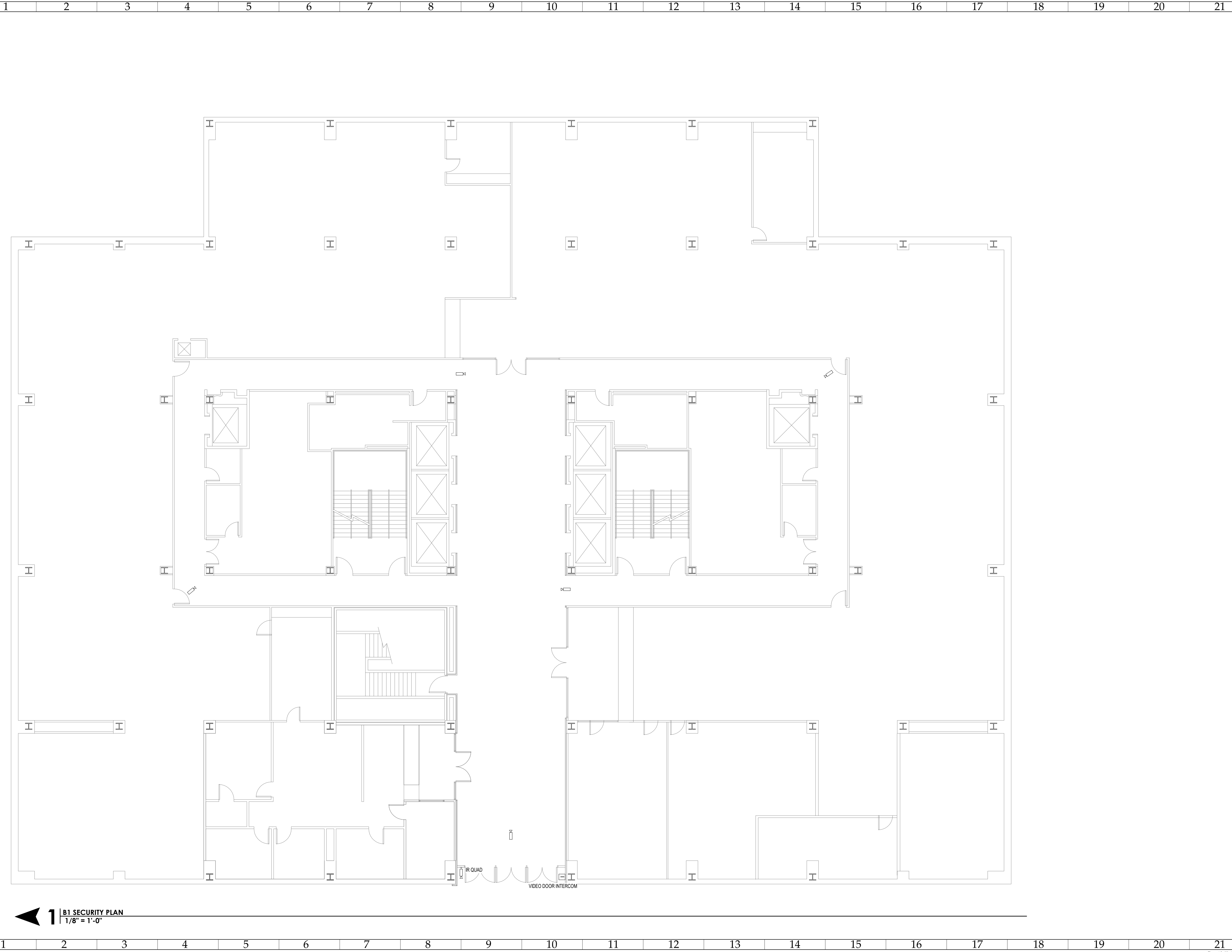
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**10TH FLOOR  
SECURITY PLAN**

E1.10

**1** 10TH FLOOR SECURITY PLAN  
 1/8" = 1'-0"

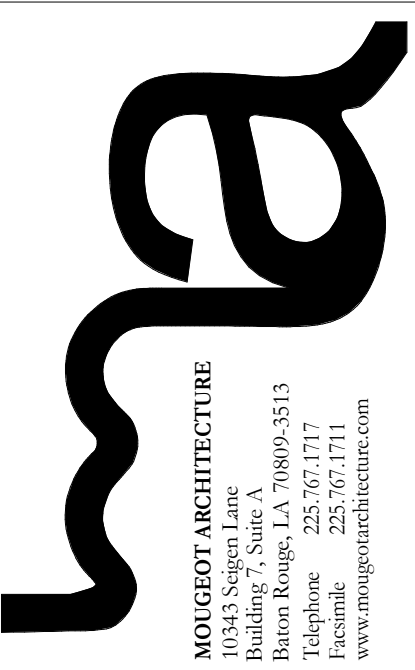
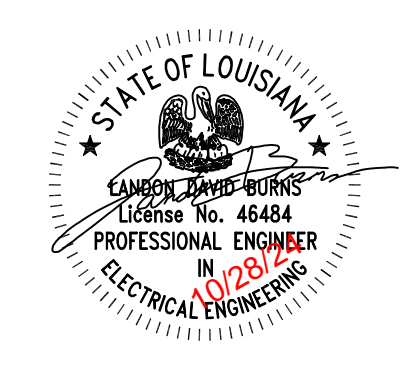
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1 B1 SECURITY PLAN  
1/8" = 1'-0"

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CONSTRUCTION  
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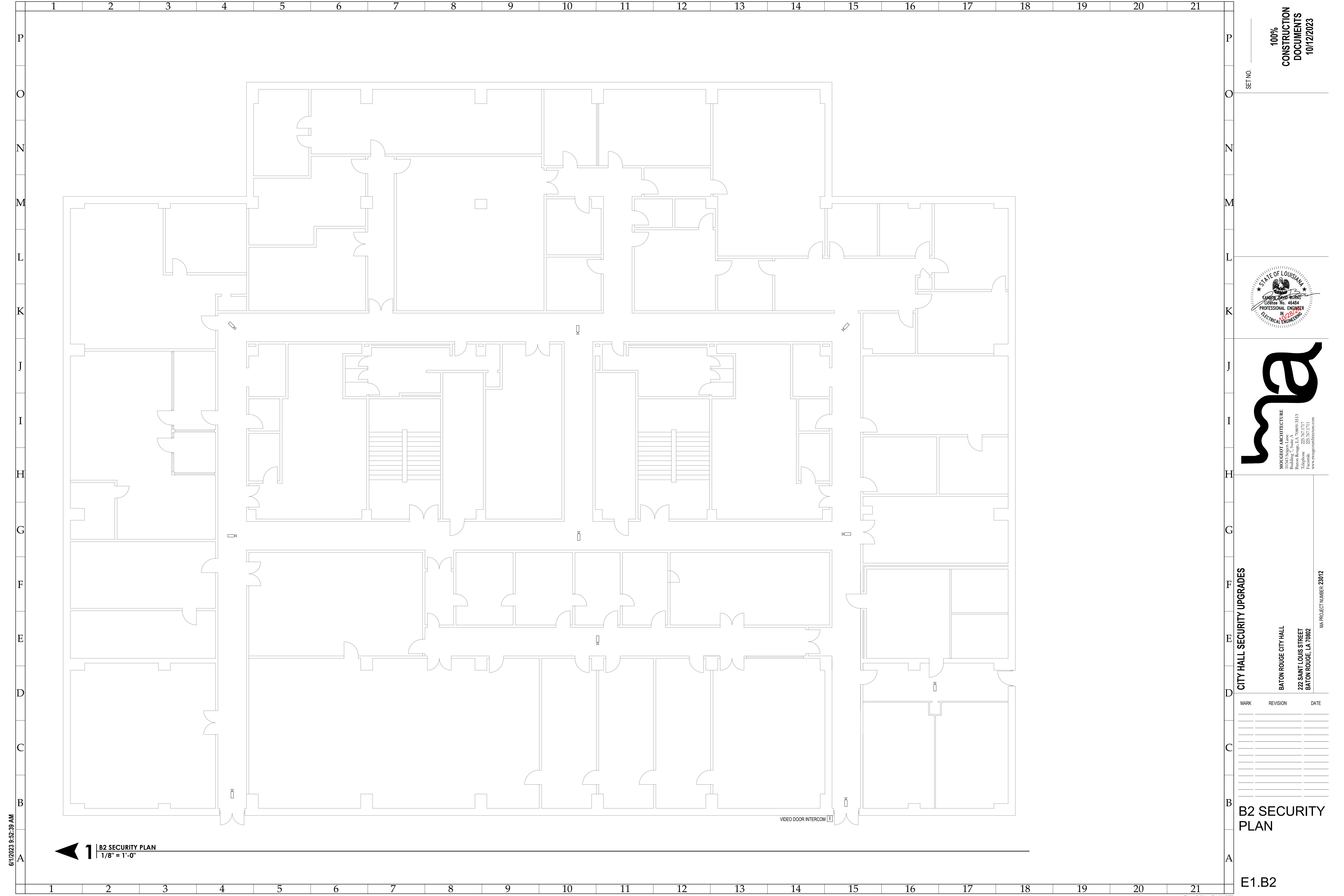
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B1 SECURITY PLAN

E1.B1

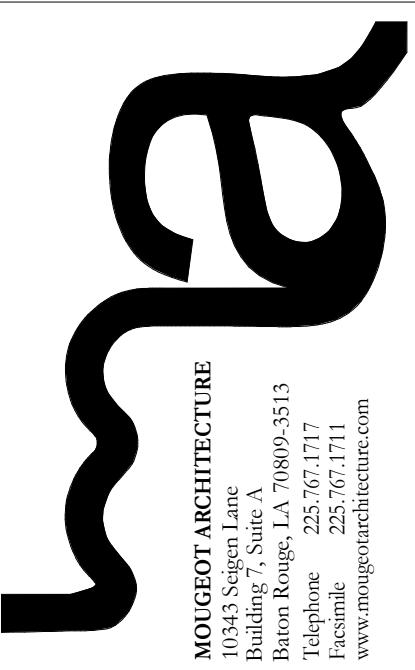
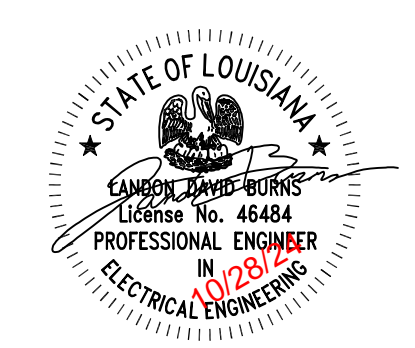


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**1** | B2 SECURITY PLAN  
1/8" = 1'-0"

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B2 SECURITY PLAN

E1.B2