



Department of Building & Grounds  
Architectural Services Division

City of Baton Rouge  
Parish of East Baton Rouge

P.O. Box 1471  
Baton Rouge, Louisiana 70821  
225 389-4694 Voice  
225 389-4704 Fax

**ADDENDUM #1**

**May 3, 2024**

**TO ALL BIDDERS**

**PROJECT: DHDS/BRPD UP1 ROOF REPLACEMENT  
CITY PARISH PROJECT NO. 21-ASC-CP-1521**

The following revisions shall be incorporated in and take precedence over any conflicting part of the original contract documents.

1. Clarification: Bidders must include in their bids all sales and/or use taxes on materials, supplies and equipment to be furnished for use on the project.
2. Clarification: A non-mandatory Pre-Bid Conference was held on Tuesday, April 30, 2024 at 10:00 AM at the Department of Health and Development Services Offices, Classroom 4, 4445 Plank Road, Baton Rouge, Louisiana. The meeting minutes are attached to this addendum.
3. Project Manual, Cover, Dates, Item 3, delete "...May 09, 2024...", substitute "...May 23, 2024..."
4. Project Manual, Part 1, Cover Sheet, Bid Date, delete "...May 09, 2024...", substitute "...May 23, 2024..."
5. Project Manual, Part 2, Cover Sheet, Bid Date, delete "...May 09, 2024...", substitute "...May 23, 2024..."
6. Project Manual, Part 2, Notice to Contractors, 2<sup>nd</sup> paragraph, delete "...May 09, 2024...", substitute "...May 23, 2024..."
7. Project Manual, Part 2, Lump Sum Quotation Bid Documents, add attached Unit Price Form.
8. Project Manual, General Provisions, Section 4.6, delete "The Contractor will be furnished 5 sets of plans and specifications without charge. Additional sets will be furnished at actual cost of reproduction."
9. Specification Section 01 0000, "City Parish Summary of Work", Section 1.04.D, delete "BBI Architectural Services, Brent Bueche, AIA or [office@bbiuse.com](mailto:office@bbiuse.com)", add Item 1, "BBI Architects, AAC, 1111 S. Foster Dr., Suite D, Baton Rouge, Louisiana, 70806, Voice: (225) 761-5191, Email: [brent@bbiusa.com](mailto:brent@bbiusa.com)."
10. Specification Section 01 0000, "City Parish Summary of Work", Section 1.04.E.1, delete "**One Hundred Eighty (180) calendar days**", substitute "**One Hundred Fifty (150) calendar days**".

11. Specification Section 01 0000, "City Parish Summary of Work", Section 1.04.F.1, delete "**One Thousand Dollars (\$1000)**", substitute "**Seven Hundred Dollars (\$700)**".
12. Specification Section 01 0000, "City Parish Summary of Work", Section 3.06. Delete this section in its entirety.
13. Specification Section 07 7100, "Sheet Metal Flashing and Trim", Section 2.7.B.1, delete "...20 gauge...", substitute "...22 gauge...".
14. Project Information, Title Sheet, drawing Sheet T1.1. Delete "C-P Project No: 22-ASD-CP-1351", substitute "C-P Project No: 21-ASC-CP-1521".
15. Drawing 1, "Wind Load Analysis", Sheet A4.1. Delete this drawing in its entirety, replace with the attached revised Sheet A4.1.

The following revisions shall be incorporated in and take precedence over any conflicting part of the original contract documents.

*TOTAL PAGES .....7 (SPECIFICATIONS)*  
*TOTAL PAGES .....1 (DRAWINGS)*  
*TOTAL PAGES .....10 (INCLUDING THESE PAGES)*

***FAILURE TO INDICATE RECEIPT OF THIS ADDENDUM ON BID FORM MAY BE CAUSE FOR THE BID TO BE REJECTED***

Rob Gray, AIA, LEED AP BD+C, Senior Architect  
 Architectural Services Division  
 1100 Laurel Street, Rm. 227  
 Baton Rouge, LA 70802



## Roof Replacement

### DHDS/BRPD UP1

4445 Plank Road  
Baton Rouge, LA

#### Pre-Bid Meeting Minutes

May 2, 2024

Pre-Bid Meeting was held on Tuesday, April 30, 2024, at 10:00 AM at the Department of Health and Development Services Offices, Classroom 4, 4445 Plank Road in Baton Rouge, Louisiana

1. Rob Gray opened the meeting and requested all attendees sign in. A sign-in sheet was distributed (see attached).
2. Rob Gray introduced himself as a Senior Architect with the City of Baton Rouge and introduced Brent Bueche as the Architect on the project.
  - A. Brent will be the contact for questions and communications during the bid or construction process.
3. Brent Bueche described the Scope of Work:
  - A. The roof surface is approximately 48 - 50,000sf with a lightweight concrete deck.
  - B. The existing roofing system will be removed all the way to the lightweight deck and replaced with a new system consisting of a base sheet, insulation, tapered insulation, and 2 ply modified bitumen roof system.
  - C. It appears as though the deck is almost flat except for tapers on each end.
  - D. The new roof drainage concept is to cut the roof into thirds. The back third will drain off the back of the roof and the front two-thirds to drain off the front of the building.
    - a. The existing roof drains and scuppers are inadequate and new through wall scuppers will need to be added as part of the project.
  - E. There are 2 skylights that have been covered that appear to have been leaking. The scope of work calls for the skylight perimeter to be sealed and all of the glazing units to be removed, re-gasketed, and re-installed. Before that is done the skylight covers will need to be removed and the skylights water tested to determine the source of the leaks
  - F. HVAC Units: Since we are adding about 6" of roof insulation in some places the existing curbs will not be high enough to accommodate the new insulation. The roof curbs and HVAC unit adapters are also in bad shape and will need replacing. Therefore, the existing HVAC units will be removed, curbs, and adapter curbs replaced with new, and the original HVAC Units will then be set back in place.
    - a. All mechanical, electrical, and other work involved in this process will be part of the contractor's scope of work.
4. Brent noted that the design team anticipates portions of the lightweight deck are damaged and will need to be replaced. As a result, 3,000sf of deck patching is included in the project in the form of Unit Pricing. See the details in the drawings for more information.
5. Unit Pricing also includes 500 board feet of wooden curbs and nailers and 10 squares of inter-ply to eliminate any ponding issues. Quantities of Unit Price materials will be adjusted at the end of the project.
6. Time was discussed. The bid documents were erroneously issued with 180 days of construction time. After a discussion it was decided to change the construction time to 150 days.

- A. Time adjustments will be made for weather as per the Contract Documents
  - B. Brent noted Liquidated Damages are \$1,000 per day
7. Rob indicated that the bid date will be pushed back two weeks to allow for contractors to have time to review and ask questions.
- A. The new bid date will be May 23, 2024
8. The specified City Job Sign will be removed from the project.
9. The meeting was open to questions:
- A. A question was asked if there is a budget number available (needed for the contractors for bonding pricing)
    - a. Rob indicated the budget will not be disclosed until the bid opening.
  - B. It was asked if the Contractor can work 24/7. After discussions with LT. Sibley, the BRPD representative at the meeting, it was determined that 24/7 will be OK from their perspective. We will coordinate with others and verify and update in the addendum.
  - C. Roof access during bidding. Brent asks LT. Sibley if there will be any problems with people going on the roof during the bidding phase. He indicated that there is no conflict with the police department in allowing people to access the roof.
  - D. Someone asked about the existing roof assembly. Brent said the existing roof assembly is modified bitumen, and insulation. In some areas a liquid roofing membrane was applied over the modified as a patch.
  - E. A question was asked about 20-gauge downspouts. Brent indicated that it was an oversight and will be changed in the addendum.
  - F. A question was asked if there was a disadvantaged business requirement. Rob indicated that it was not required but recommended.
10. Brent noted an Addenda will be issued. As of today the items will include:
- A. Adding the Unit Price Bid Form.
  - B. Changing the Construction time to 150 days.
  - C. Changing the bid date.
  - D. Deleting the City required job sign from the project.
  - E. Replacing sheet A4.1 to update the wind loading pressures.
  - F. Changing the gauge of the downspouts
  - G. There may be other items that will come up.
11. The meeting was adjourned to the roof.

### **End of Minutes**

Date: April 30, 2024



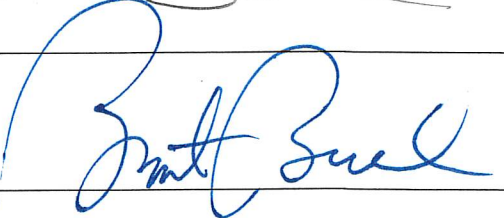

Project: DHDS/BRPD UP1 ROOF REPLACEMENT

Project No: 21-ASC-CP-1521

Bid Date: May 9, 2024

### PRE-BID CONFERENCE SIGN-IN SHEET

PLEASE SIGN IN AND WRITE YOUR PHONE NUMBER AND FAX NUMBER

(Print) Name & Email	Phone Number	Fax Number	Company Name & License#	Signature
Name: <u>LT. Thomas Sibley</u> Email: <u>TSibley@brla.gov</u>	<u>225-202-0000</u>		<u>BRPD 1st District</u>	
Name: <u>Ron Creel</u> Email: <u>RON@RROOFS.COM</u>	<u>C 985.516.5295</u> <u>O 601.736.6886</u>		<u>R &amp; R SHEET METAL, INC.</u>	
Name: <u>BRENT BURCHETT</u> Email: <u>brentf@bbiusa.com</u>	<u>225</u> <u>761.5191</u>		<u>BBi ARCHITECTS</u>	
Name: <u>ROB GRAY</u> Email: <u>rgray@brla.gov</u>	<u>(225) 571-7864</u>		<u>DEPT of ENERGY &amp; ENVIRONMENTAL AFFAIRS</u> <u>ARCHITECTURAL SERVICES DIVISION</u>	
Name:				
Email:				

Date: April 30, 2024

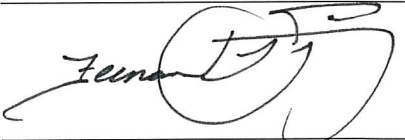
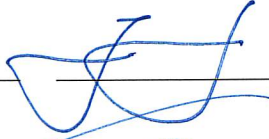



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PLEASE SIGN IN AND WRITE YOUR PHONE NUMBER AND FAX NUMBER

(Print) Name & Email	Phone Number	Fax Number	Company Name & License#	Signature
Name: <u>Fernand Guidry</u> Email: <u>tdutho.sielleconstructors@gmail.com</u>	<u>(225) 751-2158</u>		<u>59009</u>	
Name: <u>Terence Hill</u> Email: <u>terence@hillconstructionbr.com</u>	<u>225.315.2968</u>		<u>43488</u>	
Name: <u>Guy Huffine</u> Email: <u>guy@LakeshoreRoofingInc.com</u>			<u>55803</u>	
Name: <u>Jermyn G. Bell</u> Email: <u>info@reliaberoofingba.com</u>	<u>(225) 445-1220</u>			
Name: <u>Richard M. Stricklin</u> Email: <u>Invoice@sp-construction.co</u>	<u>225-642-2400</u>			

Date: April 30, 2024


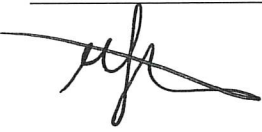


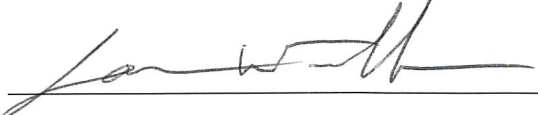
Project: DHDS/BRPD UP1 ROOF REPLACEMENT

Project No: 21-ASC-CP-1521

Bid Date: May 9, 2024

### PRE-BID CONFERENCE SIGN-IN SHEET

PLEASE SIGN IN AND WRITE YOUR PHONE NUMBER AND FAX NUMBER

(Print) Name & Email	Phone Number	Fax Number	Company Name & License#	Signature
Name: <u>KENNETH DAVIS</u> Email: <u>KENNETH7DAV3@gmail.com</u>	<u>225 284 7954</u>		<u>Stricklin + Porter Construction</u>	
Name: <u>Michael Stricklin</u> Email: <u>micstr@sp-construction.co</u>	<u>601 334 6379</u>		<u>Stricklin + Porter Construction</u>	
Name: <u>ROBERT PAVLICIC</u> Email: <u>PAVLICREO2@yahoo.com</u>	<u>228 547 6712</u>		<u>Stricklin Porter Construction</u>	
Name: <u>Chris Bolton</u> Email: <u>Chris@Campbelldev.com</u>	<u>225 924 6733</u>	<u>225 924 6734</u>	<u>Campbell Development 69643</u>	
Name: <u>Lawson Webb</u> Email: <u>Estimating@RoofingSolutionsLA.com</u>	<u>(225) 397-3947</u>		<u>Roofing Solutions 44196</u>	

Date: April 30, 2024






Project: DHDS/BRPD UP1 ROOF REPLACEMENT

Project No: 21-ASC-CP-1521

Bid Date: May 9, 2024

### PRE-BID CONFERENCE SIGN-IN SHEET

PLEASE SIGN IN AND WRITE YOUR PHONE NUMBER AND FAX NUMBER

(Print) Name & Email	Phone Number	Fax Number	Company Name & License#	Signature
Name: Samuel Laphand Email: Sam@LapServicesLA.com	225-380-6915 225-290-0337		LAP Services 75021	
Name: Fred Haywood Email: Fredhaywood@gmail.com	225-461-8533		Haywood Property Maint	
Name: JAMES Cox LAP Services Email: James@LAPservicesLA.com	504-266-6366		LAP Services 75021	
Name: Evan Molina Email: eman@partinroofing.com			Partin Roofing	
Name: AbdulSattar Saleh Email: luxusa.co@gmail.com	(337) 501-5713		Lux Construction LLC 75623	



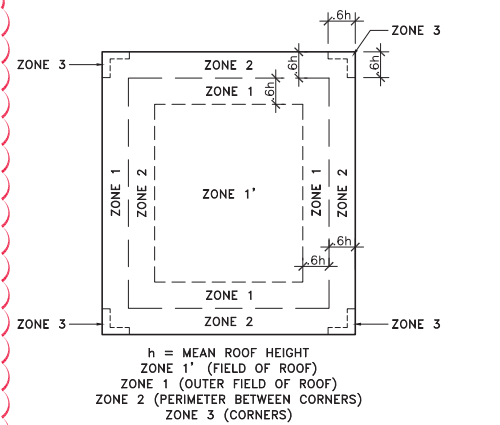
I WIND - LOAD ANALYSIS		
ROOF	WIND PRESSURES	MINIMUM WIND UPLIFT RATINGS
A B C 128' X 366'-0"	ZONE 1 = +10.17 PSF -39.69 PSF	ZONE 1 = +21.00 PSF -80.00 PSF <span style="color:red">▲</span>
	ZONE 1' = +10.17 PSF -22.80 PSF	ZONE 1' = +21.00 PSF -50.00 PSF
	ZONE 2 = +10.17 PSF -52.40 PSF	ZONE 2 = + 21.00 PSF -110.00 PSF
α: 14.0 FEET	ZONE 3 = +10.17 PSF -71.42 PSF	ZONE 3 = + 21.00 PSF -145.00 PSF
	ZONE 1 = +10.17 PSF -39.69 PSF	ZONE 1 = +21.00 PSF -80.00 PSF
	ZONE 1' = +10.17 PSF -22.80 PSF	ZONE 1' = +21.00 PSF -50.00 PSF
D & E 158'-0" X 82'-0"	ZONE 2 = +10.17 PSF -52.40 PSF	ZONE 2 = + 21.00 PSF -110.00 PSF
	ZONE 3 = +10.17 PSF -71.42 PSF	ZONE 3 = + 21.00 PSF -145.00 PSF
	ZONE 1 = +10.17 PSF -39.69 PSF	ZONE 1 = +21.00 PSF -80.00 PSF
α: 14.0 FEET	ZONE 1' = +10.17 PSF -22.80 PSF	ZONE 1' = +21.00 PSF -50.00 PSF
	ZONE 2 = +10.17 PSF -52.40 PSF	ZONE 2 = + 21.00 PSF -110.00 PSF
	ZONE 3 = +10.17 PSF -71.42 PSF	ZONE 3 = + 21.00 PSF -145.00 PSF

**NOTES:**

- ALL ROOF SYSTEMS TO COMPLY WITH IBC 2021 - SECTION 1609.1 (GENERAL REQUIREMENTS) AND SECTION 1609.1.4 (WIND DESIGN DATA). FM GLOBAL 1-29 - ROOF DECK SECUREMENT AND ABOVE ROOF DECK COMPONENTS FOR 1-120 WIND UPLIFT.
- DESIGN WIND LOADS ARE DERIVED USING METHOD 1 - SIMPLIFIED METHOD FROM THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) STANDARD 7-16, "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES."
- ALL DESIGN WIND LOADS ARE DETERMINED USING THE FOLLOWING INFORMATION:
  - MEAN ROOF (FEET): 14'-0"
  - ROOF SLOPE: FLAT: 1-1/2:12 OR LESS
  - PARAPETS: NO
  - BUILDING CONFIGURATION: ENCLOSED
  - EXPOSURE: B
  - OCCUPANCY CATEGORY: IV
  - WIND SPEED: 136 MPH (FROM ASCE 7 HAZARD TOOL ONLINE)
  - ROOF DECK: LIGHTWEIGHT INSULATING CONCRETE
  - ROOF COVERING TYPE: MODIFIED BITUMEN

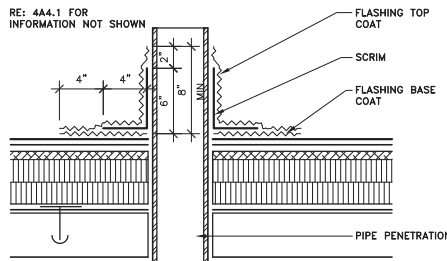
**2 ROOF NOTES**

- ROOFING MANUFACTURER SHALL PERFORM WIND LOAD ANALYSIS TO DETERMINE IN ACCORDANCE WITH CURRENT EDITION OF ASCE 7 OR AUTHORITY HAVING JURISDICTION
- FASTENERS, FASTENING PATTERNS, INCLUDING TYPE, SIZE AND THICKNESS, SHALL BE DETERMINED BY THE ROOFING MANUFACTURER BASE ON SPECIFIC WIND LOAD ANALYSIS, SITE CONDITIONS, AND UNIQUE CHARACTERISTICS OF THE MANUFACTURER'S MATERIALS.
- ROOF INSTALLATION SHALL BE IN ACCORDANCE WITH FM GLOBAL PROPERTY LOSS PREVENTION DATA SHEETS, INCLUDING:
  - DATA SHEET 1-28, WIND DESIGN
  - DATA SHEET 1-29, ROOF DECK SECUREMENT AND ABOVE DECK ROOF COMPONENTS.
  - DATA SHEET 1-49, PERIMETER FLASHING
- ENSURE THAT ALL COMPONENTS OF THE ROOFING SYSTEM ARE FM APPROVED FOR USE TOGETHER.
- IN ROOF CORNERS AND PERIMETER, ENSURE THE DISTANCE BETWEEN ROWS OF ROOF COVER FASTENERS OR BATTEN BARS ARE FOLLOWING THE MAXIMUM PERCENTAGES OF THE FM APPROVED PERCENTAGES. USE THE REDUCED SPACING IN ALL FM APPROVAL CLASSIFICATIONS.
- ROOF PERIMETER: DISTANCE BETWEEN ROWS IS ≤ 60% OF THE FM APPROVED FIELD SPACING, OR ONE ROW OF INTERMEDIATE FASTENERS IS PROVIDED IN BETWEEN.
- ROOF CORNERS: DISTANCE BETWEEN ROWS IS < 40% OF THE FM APPROVED FIELD SPACING OR TWO ROWS OF INTERMEDIATE FASTENERS ARE PROVIDED IN BETWEEN.
- PRIME BOTH SIDES OF HORIZONTAL FLANGES.
- REMOVE AND REPLACE ROTTEN OR DAMAGED WOOD NAILERS.
- VERIFY THAT EXISTING ITEMS THAT ARE TO REMAIN ON THE ROOF ARE SECURELY ANCHORED. IF NOT, SECURE AS REQUIRED.
- SCREWS USED TO SECURE NAILERS SHALL BE 300 SERIES STAINLESS STEEL. PROVIDE #14 SCREWS 3" LONG MINIMUM. PROVIDE 2 ROWS OF STAGGERED SCREWS SPACED 12" O.C. APART TYPICALLY AND REDUCED TO 6" O.C. WITHIN 8' OF OUTSIDE BUILDING CORNERS.
- SHOULD FIELD CONDITIONS VARY FROM THE DESCRIBED HEREIN, CONTACT THE ARCHITECT.



**3 DESIGN WIND LOAD DIAGRAM**

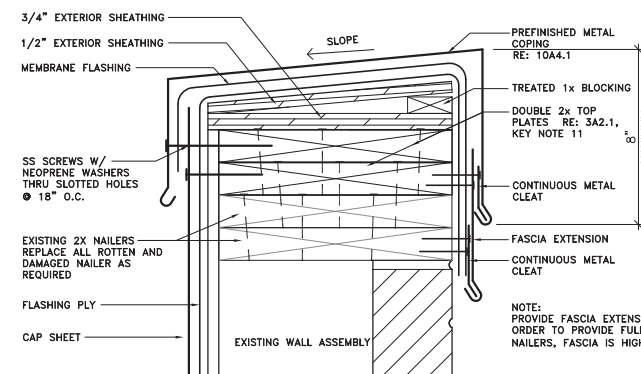
N.T.S.



- NOTES:**
- MASK OFF EXTENTS OF FLASHING-CEMENT
  - PRIME ALL AREAS TO RECEIVE LIQUID MEMBRANE
  - EXTEND PIPE AS REQUIRED FOR MINIMUM CLEARANCE

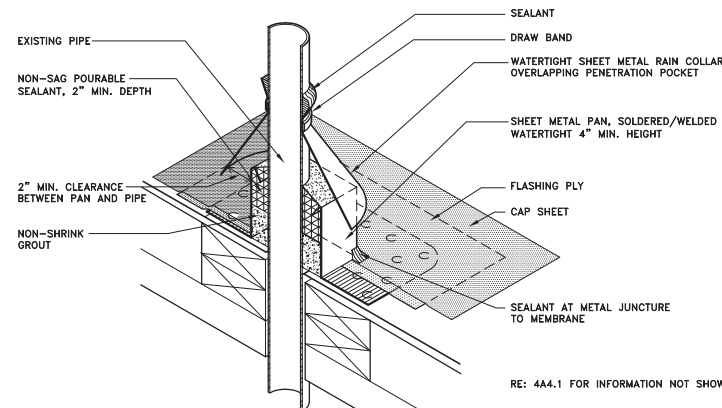
**6 PIPE PENETRATION**

1-1/2" = 1'-0"



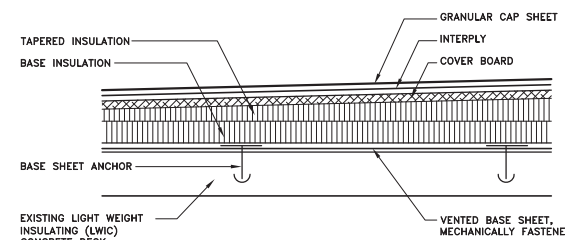
**9 TYPICAL PARAPET DETAIL**

1-1/2" = 1'-0"



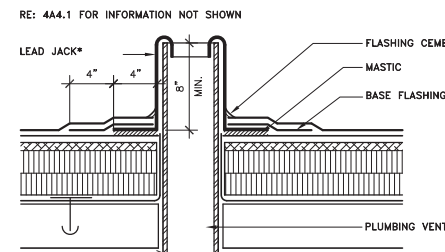
**12 PITCH POCKET**

1-1/2" = 1'-0"



**4 ROOF ASSEMBLY**

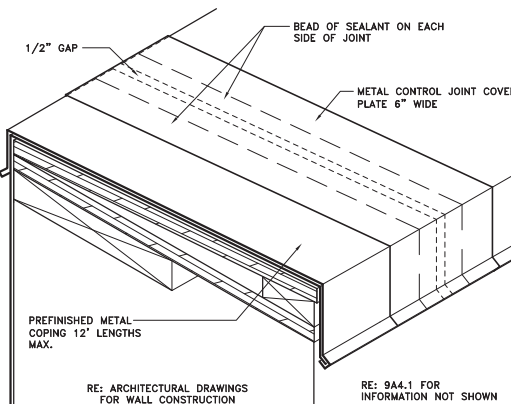
1-1/2" = 1'-0"



- NOTES:**
- EXTEND PLUMBING VENT AS REQUIRED FOR MINIMUM CLEARANCE
  - PRIME BOTH SIDES OF HORIZONTAL FLANGES

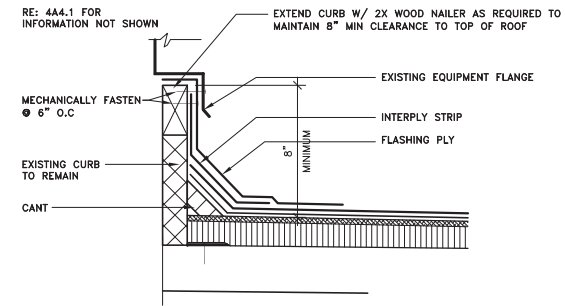
**7 PLUMBING VENT**

1-1/2" = 1'-0"



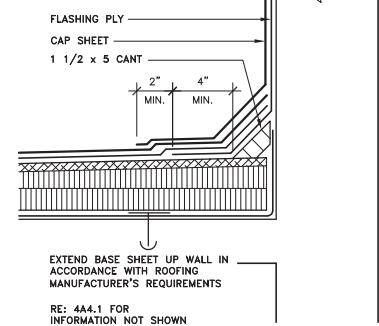
**10 COPING JOINT DETAIL**

1-1/2" = 1'-0"



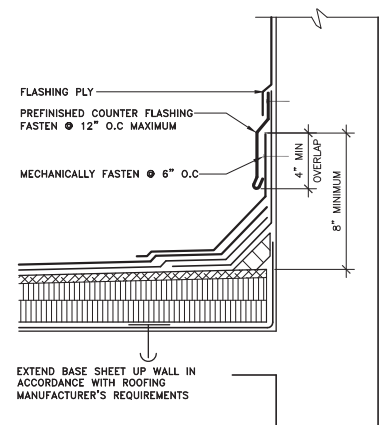
**5 TYPICAL EQUIPMENT CURB**

1-1/2" = 1'-0"



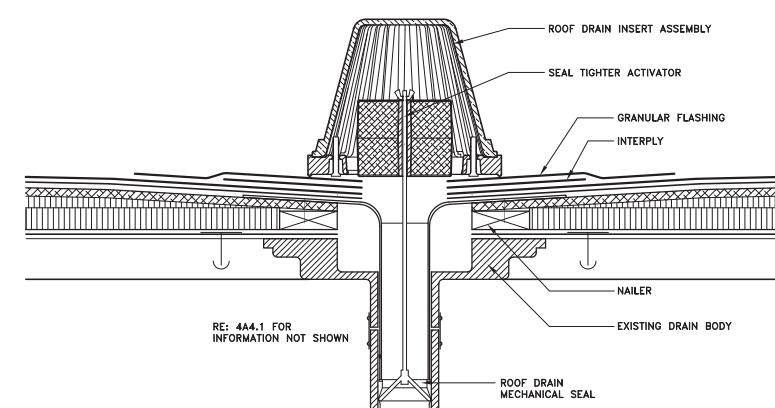
**8 TYP. ROOF AT PARAPET**

1-1/2" = 1'-0"



**11 ROOF AT TALL PARAPET**

1-1/2" = 1'-0"



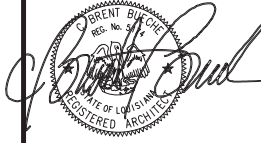
**13 ROOF DRAIN**

1-1/2" = 1'-0"

REVISIONS:

▲ ADDENDUM 1

SEAL



DHDS/BRPD UPI ROOF REPLACEMENT  
4445 PLANK ROAD, BATON ROUGE, LA 70805  
CITY-PARISH PROJECT NO. 21-ASD-CP-1351

SHEET TITLE

DETAILS

BBI Job No. A22-010  
Date 05/01/23  
Drawn By MF  
Checked By bb

SHEET

**A 4.1**

## LOUISIANA UNIFORM PUBLIC WORK BID FORM UNIT PRICE FORM

**TO:** City of Baton Rouge  
 Parish of East Baton Rouge  
 Purchasing Division, City Hall  
 222 Saint Louis St., 8<sup>th</sup> floor, Room 826  
 Baton Rouge, Louisiana 70802

**BID FOR:**  
DHDS/BRPD UP1 Roof Replacement  
 4445 Plank Road  
 Baton Rouge, LA 70805

**UNIT PRICES:** This form shall be used for any and all work required by the Bidding Documents and described as unit prices. Amounts shall be stated in figures and only in figures.

DESCRIPTION:	<input checked="" type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ___ Additional interply sheets to eliminate ponding.			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION <i>(Quantity times Unit Price)</i>
Unit Price #1	10	Squares		

DESCRIPTION:	<input checked="" type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ___ Remove and replace deteriorated wood nailers and blocking.			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION <i>(Quantity times Unit Price)</i>
Unit Price #2	500	Board feet		

DESCRIPTION:	<input checked="" type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ___ Lightweight concrete deck patching in accordance with Detail 8A4.2.			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION <i>(Quantity times Unit Price)</i>
Unit Price #3	3,000	Square feet		

DESCRIPTION:	<input checked="" type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ___ Not applicable.			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION <i>(Quantity times Unit Price)</i>
Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

DESCRIPTION:	<input type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ___ Not applicable.			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION <i>(Quantity times Unit Price)</i>
Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

DESCRIPTION:	<input type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ___ Not applicable.			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION <i>(Quantity times Unit Price)</i>
Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

**All quantities are estimated. The contractor will be paid based upon actual quantities as verified by the Owner.**