



Department of Building & Grounds
Architectural Services Division

City of Baton Rouge
Parish of East Baton Rouge

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ADDENDUM # 3

May 3, 2024

TO ALL BIDDERS

**PROJECT: New Surface Parking Lot
St. Ferdinand Street, Baton Rouge, LA 70802
CITY PARISH PROJECT NO. 20-ASC-CP-1515**

The following revisions shall be incorporated in and take precedence over any conflicting part of the original contract documents.

Please see attach addendum from Consulting Engineers

TOTAL PAGES11 (including this page)

FAILURE TO INDICATE RECEIPT OF THIS ADDENDUM ON BID FORM MAY BE CAUSE FOR THE BID TO BE REJECTED

Sean M. Johnson, AIA
Chief Architect
Architectural Services Division
1100 Laurel Street, Rm 227
Baton Rouge, LA 70802

NOTE – The responses presented below may differ from those presented in the Pre-Bid Conference. The responses below are current as of the date of this Addendum and if different supersede those provided at the Pre-Bid Conference or any previous addenda.

Contractors' General Questions

- 1. There is no demolition indicated at the connection to St. Ferdinand Street. Please advise.**
 - a. See revised sheet C1 – Demolition Plan
- 2. There is no demolition indicated at the storm drain tie in at Louisiana Avenue. Please advise.**
 - a. See revised sheets C1 – Demolition Plan for demolition requirements.
- 3. There is an existing 6" steel pipe that connects to the existing inlet at Louisiana Avenue and St. Louis Street. Is this to remain?**
 - a. The 6" steel pipe shown is to remain.
- 4. Is the existing fence to be removed?**
 - a. See revised sheet C1 – Demolition Plan
- 5. There is an existing wayfinding sign in the sidewalk along St. Ferdinand Street that is in conflict with the apron. Is this to be removed?**
 - a. The apron has been revised to avoid conflict with the sign. See revised sheet C1 – Demolition Plan
- 6. Will ADA matting be required where the sidewalk intersects the aprons?**
 - a. ADA detectable warning matting will not be required.
- 7. Note 21 mentions a geotechnical report. Is this report available for review?**
 - a. No geotechnical investigation was conducted. Note has been removed.
- 8. Are any wheel stops required for this project?**
 - a. Wheel stops are required at all parking stalls. Wheel stop detail shown on sheet C7.
- 9. Note 7 mentions permeable paving, is any of the paving for this project to be permeable?**
 - a. Note 7 removed from sheet C3. No pavement to be permeable paving.

10. Per note 9, all pipe is to be RCP. Much of the pipe is 12", which isn't a common size. Would it be acceptable to use 15" RCP in lieu of 12" for these pipe runs?

- a. Note states "Storm drainage pipe may be ribbed PVC pipe conforming to ASTM F-794 series or ASTM C-76 class III reinforced concrete pipe". Pipe sizes have also been revised. See sheet C4 and C5.

11. Typically ribbed PVC is permitted in parking areas. Would it be acceptable to use this in lieu of RCP?

- a. As stated in note 9, ribbed PVC pipe conforming to ASTM F-794 series 46 is acceptable.

12. Will any geotextile fabric be required under the stone base?

- a. Geotextile fabric not required.

13. Are the handicap signs shown in detail 14 required for this project?

- a. All handicap signs shown in sheet C7 – Standard Details, are required for this project.

14. In the inlet filter in detail 2 meant for use during or post construction?

- a. The inlet filter is to be installed during installation of the storm drain inlets. Inlet protection detailed is required throughout construction as well.

15. Detail 6 has a call out in reference to Note 7, but there isn't a note 7. Please advise.

- a. Detail 6 previously instructed the reader to refer to note 7, which did not exist. This text has been changed to refer to note 5.

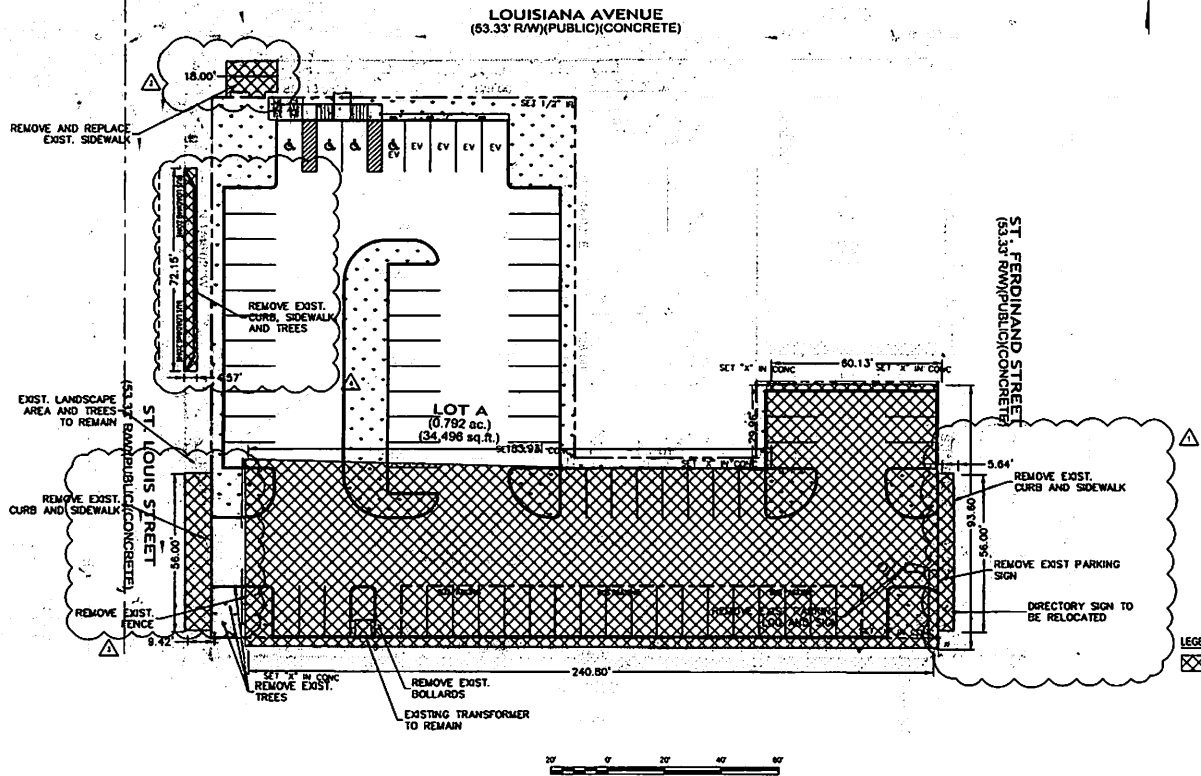
16. In the Notice to Contractors, this project requires a classification of "General Contractor". I'm not aware of this classification. Are there any other acceptable classifications?

- a. The Notice to Contractors is revised to state "If required for bidding, Contractors must hold an active license issued by the State of Louisiana Licensing Board for Contractors in the classification of Heavy Construction or Highway, Street and Bridge Construction, and must show their license number on the face of the bid envelope."

17. The bus loading zone paving doesn't appear to extend far enough into the sidewalk to eliminate the existing green spaces. Are these existing green spaces to remain?

- a. Existing green spaced to be removed and sidewalk expanded to meet bus loading zone.

DATE: 5/17/2024, 11:38 AM | AUTHOR: jay@jts.com | (PLOTTER: DWG TO PDF.pc3) |
 PATH: C:\Users\jts\OneDrive\Documents\2023\ST Ferdinand Parking Lot\Drawings\1-C1 Demolition Plan.dwg | (LAYOUT: C1)



GENERAL DEMOLITION NOTES

- IF NOT SHOWN ON THE DEMOLITION DRAWINGS, THE CONTRACTOR SHALL REMOVE ALL EXISTING MATERIALS AS NECESSARY TO COMPLETE ALL NEW WORK AS REQUIRED BY OTHER PORTIONS OF THE CONTRACT DOCUMENTS.
- SAVING RIGHTS FOR ALL DEMOLISHED MATERIALS SHALL BE FIRST GIVEN TO THE OWNER. ANY MATERIALS NOT RETAINED BY THE OWNER SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS IN THE REMOVAL/DEMOLITION OF HAZARDOUS MATERIALS.
- THE CONTRACTOR IS RESPONSIBLE TO VERIFY EXISTING UTILITIES PRIOR TO DEMOLITION & SIGNATOR.
- CONTRACTOR IS RESPONSIBLE FOR ALL ACQUISITIONS, PERMITS AND FEES REQUIRED TO REMOVE & PROPERLY DISPOSE OF ALL DEMOLITION MATERIALS.
- DEMO CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVALS AND NOTIFICATIONS TO ALL LOCAL, STATE AND FEDERAL AUTHORITIES.
- DEMO CONTRACTOR IS REQUIRED TO VISIT SITE PRIOR TO BID AND NOTIFY PROJECT OF ANY PROBLEMS/ISSUES.
- CONTRACTOR RESPONSIBLE TO COORDINATE AND ASSUME ANY FEES ASSOCIATED WITH REMOVAL OF UTILITIES. ALL ABANDONED UTILITIES TO BE REMOVED & CAPPED.

BELOW GRADE CONSTRUCTION

- DEMOLISH FOUNDATION WALLS AND OTHER BELOW GRADE CONSTRUCTION AS FOLLOWS (COMPLETELY) REMOVE BELOW-GRADE CONSTRUCTION INCLUDING FOUNDATION WALLS AND FOOTINGS.

DAMAGES

- PROPERTY OWNER'S RESPONSIBILITY TO ADJACENT FACILITIES CAUSED BY DEMOLITION OPERATIONS.

GENERAL DEMOLITION SPECIFICATION

- OWNER ASSUMES AND RESPONSIBILITY FOR ACTUAL CONDITION OF BUILDINGS TO BE DEMOLISHED.
- CONDITIONS EXISTING AT TIME OF INSPECTION FOR RECORD PURPOSE WILL BE MAINTAINED BY OWNER AS FAR AS PRACTICAL.
- STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE WILL NOT BE PERMITTED.
- UNSAFE EXISTING UTILITIES IS INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- DRAWN, PURCHASE OR OTHERWISE REMOVE, COLLECT, AND DISPOSE OF CHEMICALS, GASES, EXPLOSIVES, ACIDS, FLAMMABLES, OR OTHER DANGEROUS MATERIALS BEFORE PROCEEDING WITH DEMOLITION OPERATIONS ACCORDING TO

APPLICABLE CODES/REGULATIONS

- CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND UNOCCUPIED FACILITIES.
- DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR UNOCCUPIED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITY HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AND/OR CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
- USE OF EXPLOSIVES WILL NOT BE PERMITTED.
- USE WATER MIST, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT THE SPREAD OF DUST AND DEBRIS. COMPLY WITH GOVERNING ENVIRONMENTAL PROTECTION REGULATIONS.
- DO NOT CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS, SUCH AS ICE, FLOODING AND POLLUTION, WHEN USING WATER. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
- PROPERLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.
- DO NOT BURN DEMOLISHED MATERIALS.

LEGEND



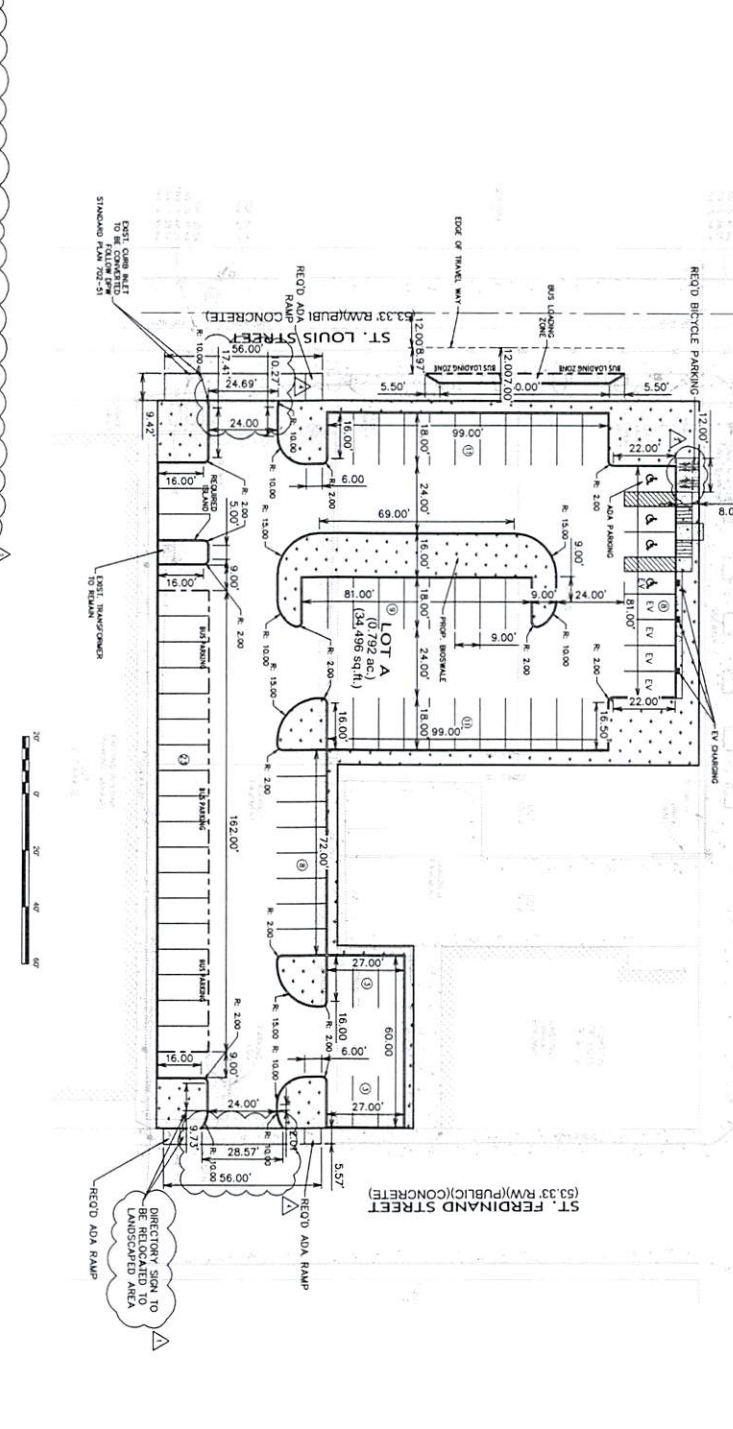
REQUIRED DEMOLITION OR REMOVAL



REVISIONS	NO.	BY	DATE	REMARKS
DESIGNED	1	JT	05/17/2024	NORMAL DEMOLITION PROJECT AT 7' ELEVATION
DRAWN	1	JT	05/17/2024	DEMOLITION WORK AT 17' FROM GRADE TO 4'
CHECKED	1	JT	05/17/2024	DANGEROUS EXISTING UTILITY TO BE REMOVED
APPROVED	1	JT	05/17/2024	DEMOLITION PERMITS NEEDED
LAST EDIT	1	JT	05/17/2024	

GENERAL NOTES:

1. THE INFORMATION ON THIS PLAN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE DESIGNER HAS NOT CONDUCTED A VISUAL SURVEY OF THE SITE.
2. THE DESIGNER HAS NOT CONDUCTED A VISUAL SURVEY OF THE SITE.
3. ALL DIMENSIONS ARE SHOWN UNLESS OTHERWISE NOTED. SEE DETAILS FOR DIMENSIONS.
4. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE DESIGNER HAS NOT CONDUCTED A VISUAL SURVEY OF THE SITE.
5. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
9. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
11. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
12. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.



LOUISIANA AVENUE
 (53.33' R/W)(PUBLIC)(CONCRETE)

SCALE: 1"=20'

FIBER OPTIC UTILITY NOTE

FROM THE CITY ENGINEER'S OFFICE: THE CITY ENGINEER HAS REVIEWED THE PROPOSED FIBER OPTIC UTILITY AND HAS DETERMINED THAT THE PROPOSED UTILITY IS IN CONFORMANCE WITH THE CITY ENGINEER'S REQUIREMENTS. THE CITY ENGINEER HAS REVIEWED THE PROPOSED UTILITY AND HAS DETERMINED THAT THE PROPOSED UTILITY IS IN CONFORMANCE WITH THE CITY ENGINEER'S REQUIREMENTS.

PERMIT NOTES

1. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY ENGINEER'S OFFICE PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY ENGINEER'S OFFICE PRIOR TO CONSTRUCTION.

SITE STATISTICS:

AREA OF LOT: 0.782 AC
 TOTAL AREA: 54,495 SQ FT
 TOTAL LOT AREA: 54,495 SQ FT
 TOTAL LOT AREA: 54,495 SQ FT

PARKING STATISTICS:

TOTAL PARKING SPOTS: 17 SPACES
 TOTAL PARKING SPOTS: 17 SPACES
 TOTAL PARKING SPOTS: 17 SPACES

PROPOSED LEGEND:

SYMBOL: ① DESCRIPTION: 4' x 8' PARKING STALLS
 SYMBOL: [Pattern] DESCRIPTION: LANDSCAPED AREA

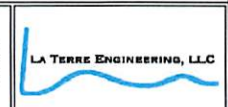
SHEET NUMBER
C2

SITE PLAN
 NEW DOWNTOWN SURFACE LOT - ST FERDINAND STREET
 CITY OF BATON ROUGE - PARISH OF EAST BATON ROUGE
 CITY PARISH PROJECT NO. 21-ASD-CP-1380

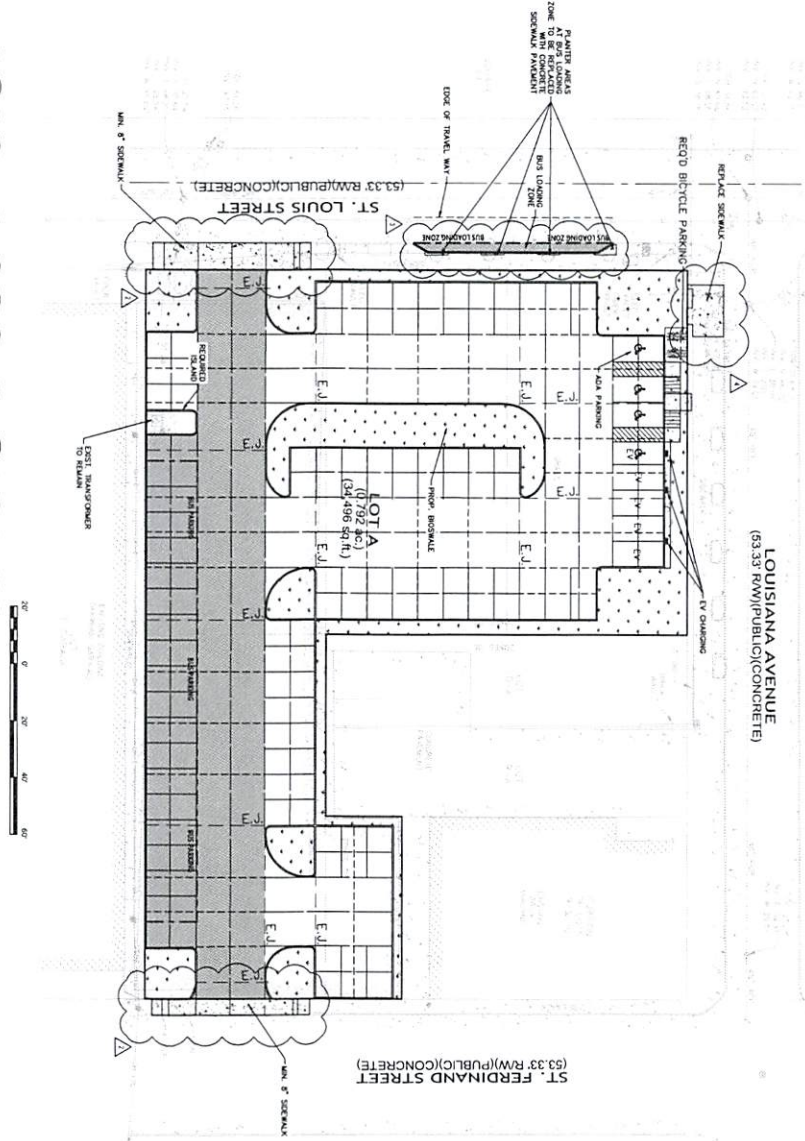
PROJECT NUMBER: 2023-04
 DRAWING FILE NAME: C2 SITE PLAN

SCALE: 1" = 20'

SHEET INFO		REVISIONS	
DESIGNED	LT	NO.	DATE
DRAWN	LT	1	5/24
CHECKED	ST	2	5/24
APPROVED	ST	3	5/24
LAST EDIT	5/3/2024	4	5/24
PILOT DATE	5/3/2024		
SUBMITAL			



- GENERAL PAVING NOTES:**
1. CONTRACTOR SHALL EXTEND ALL PAVING JOINTS THROUGH CURBS. JOINTS SHALL BE PERPENDICULAR TO CURBS.
 2. CONTRACTOR SHALL VERIFY PAVING LOT LAYOUT WITH THE ENGINEER PRIOR TO FORMING OF MARKS AND PAVING LOT AREAS.
 3. CONTRACTOR IS RESPONSIBLE FOR FIELD MARKING ALL EXISTING UTILITIES WITH WORK MARKS PRIOR TO EXCAVATION.
 4. CONTRACTOR SHALL BACK FILL AGAINST TOP OF CURBS AT 3:1 SLOPE TO EXISTING GRADE UNLESS NOTED OTHERWISE.
 5. SLOPE OF PAVING SHALL NOT EXCEED 2% AT HANDICAP ACCESSIBLE SPACES.
 6. CONTRACTOR SHALL GRADE PAVEMENT AROUND SIDEWALKS & CURBS FOR POSITIVE DRAINAGE TO AN INLET OR DESIGNATED DRAINAGE AREA.



LEGEND:

STIPPLE	DESCRIPTION
[Pattern]	LANDSCAPED AREA
[Pattern]	STANDARD DUTY PAVEMENT
[Pattern]	HEAVY DUTY PAVEMENT
E-J	EXPANSION JOINT
---	CONDITIONAL KEY JOINT
---	CONSTRUCTION JOINT

C3
SHEET NUMBER

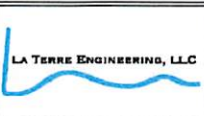
PAVING PLAN
NEW DOWNTOWN SURFACE LOT - ST FERDINAND STREET
 CITY OF BATON ROUGE - PARISH OF EAST BATON ROUGE
 CITY PARISH PROJECT NO. 21-ASD-CP-1380

SHEET INFO

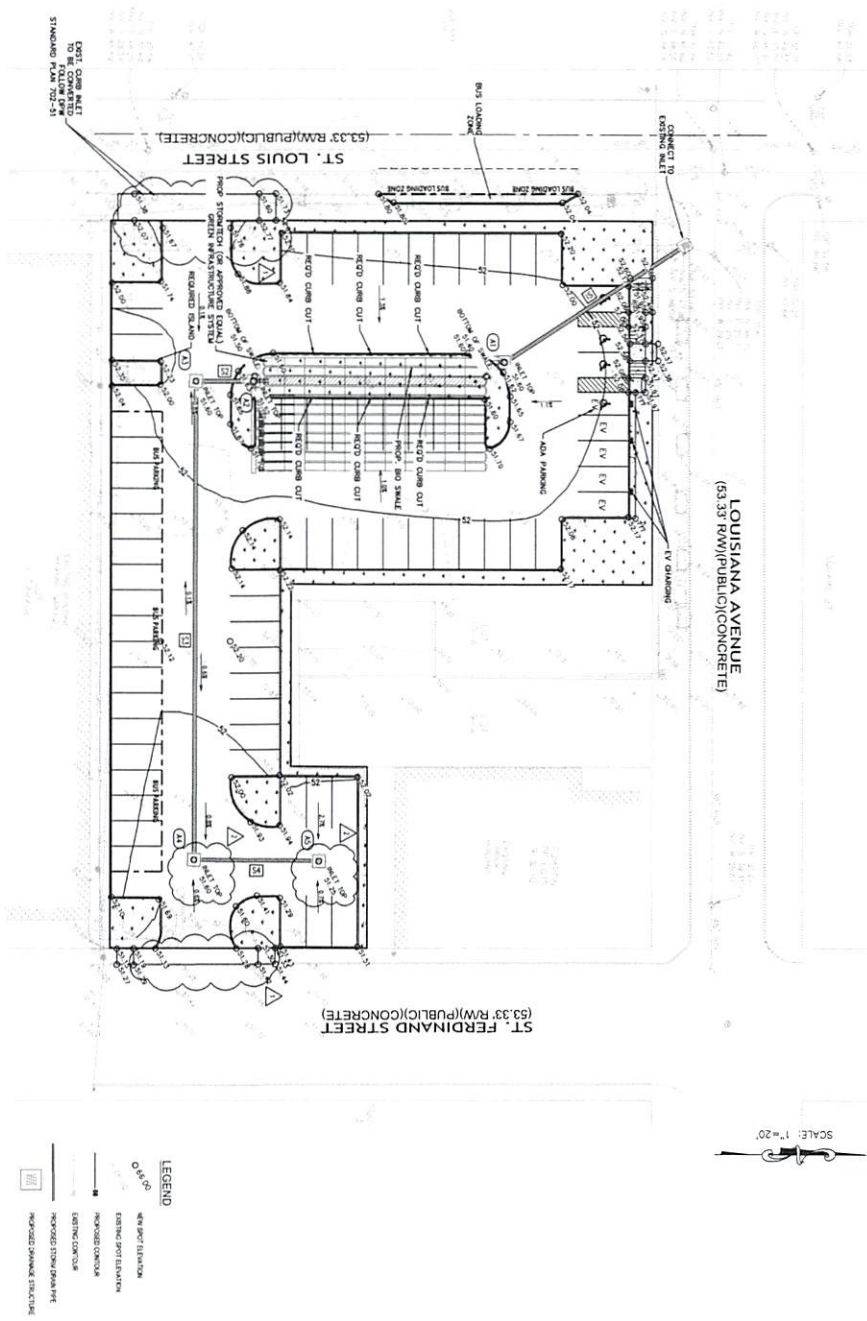
DESIGNED	LT
DRAWN	LT
CHECKED	ST
APPROVED	ST
LAST EDIT	5/2/2024
PLOT DATE	5/2/2024
SUBMITTAL	

REVISIONS

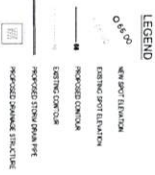
NO.	BY	DATE	REMARKS
1	LT	5/24	NOTES REVISED
2	LT	5/24	DRIVEWAY APRONS REVISED
3	LT	5/24	LANDSCAPE AREA REMOVAL REVISED
4	LT	5/24	SIDEWALK TO BE REPLACED



SCALE: 1" = 20'



SCALE: 1" = 20'



- GRADING NOTES:**
1. EXISTING TO BE DEMOLISHED LOCATIONS INDICATED BY OWNER.
 2. CONSTRUCTION SHALL BE IN ACCORD WITH THE ENGINEER'S PLAN TO CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR FIELD SURVEYING ALL EXISTING UTILITIES WITHIN WORK AREAS PRIOR TO EXCAVATION.
 4. ALL GRADES SHOWN ARE TOP OF FINISHED GRADE OR CONCRETE. UNLESS NOTED OTHERWISE.
 5. ALL LAWNED AND UTILITY LOCATIONS LISTED ARE APPROXIMATE. FIELD SURVEYING SHALL BE CONDUCTED TO VERIFY LOCATION. FLUSH WITH FINISH GRADE TO MATCH SURROUNDING AREAS.
 6. SLOPE OF FINISH SHALL NOT EXCEED 2% AT ANY POINT ACCESSIBLE GRASSES.
 7. CONSTRUCTION SHALL PROVIDE FURNISH AND REMOVE ALL GRASS FOR FINISH GRADE TO BE FLUSH TO EXISTING FINISH GRADE.
 8. EXISTING CONCRETE TO BE REELT OR RECONSTRUCT TO FINISH GRADE WITHIN 15' OF FINISH GRADE TO BE FLUSH TO EXISTING FINISH GRADE.
 9. EXISTING CONCRETE TO BE REELT OR RECONSTRUCT TO FINISH GRADE WITHIN 15' OF FINISH GRADE TO BE FLUSH TO EXISTING FINISH GRADE.
 10. EXISTING CONCRETE TO BE REELT OR RECONSTRUCT TO FINISH GRADE WITHIN 15' OF FINISH GRADE TO BE FLUSH TO EXISTING FINISH GRADE.
- SMALL DRAINAGE SYSTEMS SHALL BE INSTALLED:**
1. THE EXISTING LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD AND COORDINATED WITH ALL UTILITY COMPANIES TO AVOID CONFLICTS.
 2. SURVEY INFORMATION FROM THE FIELD SHALL BE USED TO CORRECT THE EXISTING LOCATIONS SHOWN ON THESE PLANS TO BE FLUSH TO EXISTING FINISH GRADE WITHIN 15' OF FINISH GRADE TO BE FLUSH TO EXISTING FINISH GRADE.
 3. REPAIRING OR REPLACING EXISTING UTILITIES SHALL BE PERFORMED AS INDICATED BY THE EXCAVATION AND REPAIRMENT.
 4. CONSTRUCTION TO REPAIR AND REPLACE SHALL BE CONDUCTED TO FINISH GRADE TO BE FLUSH TO EXISTING FINISH GRADE WITHIN 15' OF FINISH GRADE TO BE FLUSH TO EXISTING FINISH GRADE.
 5. EXISTING UTILITIES SHALL BE REPAIRED OR REPLACED AS INDICATED BY THE EXCAVATION AND REPAIRMENT. MATERIAL SHALL BE PROVIDED BY THE OWNER AND SHALL BE INCLUDED IN THE COST OF THE WORK.

GRADING PLAN
ST. FERDINAND PARKING LOT
 CITY OF BATON ROUGE
 CITY PARISH PROJECT NO. 21-ASD-CP-1380

SHEET NUMBER
C4

PROJECT NUMBER	DRAWING FILE NAME
2023-04	C4 GRADING PLAN

SHEET INFO

DESIGNED	LT	NO.	BY	DATE	REMARKS
DRAWN	LT	1	LT	5/3/24	DEWEY/ APRONS REVISED
CHECKED	ST	1	LT	5/3/24	INLET TOPS REVISED
APPROVED	ST				
LAST EDIT				5/3/2024	
PILOT DATE				5/3/2024	
SUBMITTAL					

REVISIONS

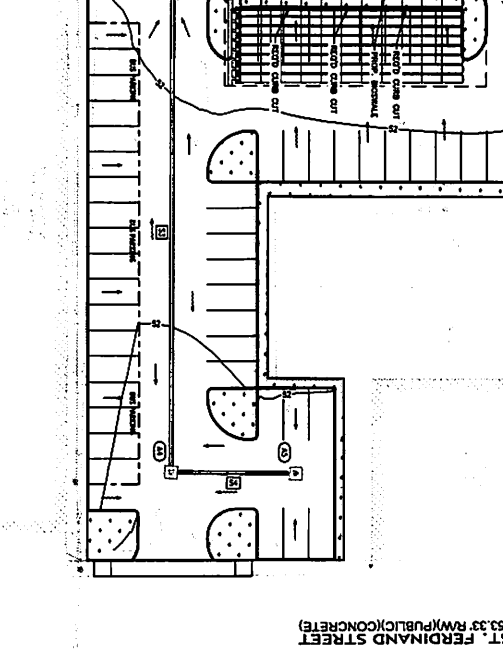
NO.	BY	DATE	REMARKS
1	LT	5/3/24	DEWEY/ APRONS REVISED
2	LT	5/3/24	INLET TOPS REVISED

SCALE: 1" = 20'



STRUCTURE NO.	STRUCTURE TYPE	INVERT ELEVATION	OUTLET ELEVATION	DIAMETER
1	MANHOLE	48.87	48.87	36"
2	MANHOLE	48.87	48.87	36"
3	MANHOLE	48.87	48.87	36"
4	MANHOLE	48.87	48.87	36"
5	MANHOLE	48.87	48.87	36"
6	MANHOLE	48.87	48.87	36"
7	MANHOLE	48.87	48.87	36"
8	MANHOLE	48.87	48.87	36"
9	MANHOLE	48.87	48.87	36"
10	MANHOLE	48.87	48.87	36"
11	MANHOLE	48.87	48.87	36"
12	MANHOLE	48.87	48.87	36"
13	MANHOLE	48.87	48.87	36"
14	MANHOLE	48.87	48.87	36"
15	MANHOLE	48.87	48.87	36"
16	MANHOLE	48.87	48.87	36"
17	MANHOLE	48.87	48.87	36"
18	MANHOLE	48.87	48.87	36"
19	MANHOLE	48.87	48.87	36"
20	MANHOLE	48.87	48.87	36"
21	MANHOLE	48.87	48.87	36"
22	MANHOLE	48.87	48.87	36"
23	MANHOLE	48.87	48.87	36"
24	MANHOLE	48.87	48.87	36"
25	MANHOLE	48.87	48.87	36"
26	MANHOLE	48.87	48.87	36"
27	MANHOLE	48.87	48.87	36"
28	MANHOLE	48.87	48.87	36"
29	MANHOLE	48.87	48.87	36"
30	MANHOLE	48.87	48.87	36"

PIPE NO.	PIPE SIZE	PIPE LENGTH	PIPE SLOPE	START INVERT	END INVERT	PERCENT SLOPE
1	18"	10'	0.00	48.87	48.87	0.00%
2	18"	10'	0.00	48.87	48.87	0.00%
3	18"	10'	0.00	48.87	48.87	0.00%
4	18"	10'	0.00	48.87	48.87	0.00%
5	18"	10'	0.00	48.87	48.87	0.00%
6	18"	10'	0.00	48.87	48.87	0.00%
7	18"	10'	0.00	48.87	48.87	0.00%
8	18"	10'	0.00	48.87	48.87	0.00%
9	18"	10'	0.00	48.87	48.87	0.00%
10	18"	10'	0.00	48.87	48.87	0.00%
11	18"	10'	0.00	48.87	48.87	0.00%
12	18"	10'	0.00	48.87	48.87	0.00%
13	18"	10'	0.00	48.87	48.87	0.00%
14	18"	10'	0.00	48.87	48.87	0.00%
15	18"	10'	0.00	48.87	48.87	0.00%
16	18"	10'	0.00	48.87	48.87	0.00%
17	18"	10'	0.00	48.87	48.87	0.00%
18	18"	10'	0.00	48.87	48.87	0.00%
19	18"	10'	0.00	48.87	48.87	0.00%
20	18"	10'	0.00	48.87	48.87	0.00%
21	18"	10'	0.00	48.87	48.87	0.00%
22	18"	10'	0.00	48.87	48.87	0.00%
23	18"	10'	0.00	48.87	48.87	0.00%
24	18"	10'	0.00	48.87	48.87	0.00%
25	18"	10'	0.00	48.87	48.87	0.00%
26	18"	10'	0.00	48.87	48.87	0.00%
27	18"	10'	0.00	48.87	48.87	0.00%
28	18"	10'	0.00	48.87	48.87	0.00%
29	18"	10'	0.00	48.87	48.87	0.00%
30	18"	10'	0.00	48.87	48.87	0.00%



	PROPOSED STRUCTURE
	PROPOSED MANHOLE
	PROPOSED PIPE
	PROPOSED STORM DRAIN
	PROPOSED RETENTION BASIN
	PROPOSED FLOOD WALL
	PROPOSED FLOOD GATE
	PROPOSED FLOOD BARRIER
	PROPOSED FLOOD PROTECTION

SCALE: 1" = 20'

DRAINAGE PLAN
ST. FERDINAND PARKING LOT
 CITY OF BATON ROUGE
 CITY PARISH PROJECT NO. 21-ASD-CP-1380

DESIGNED	BY	DATE	REVISIONS
1	LT	5/2/2024	STORM DRAIN AND MANHOLE SIZES AND ELEV. REVISED
2	BT	5/2/2024	
3	BT	5/2/2024	
4	BT	5/2/2024	
5	BT	5/2/2024	
6	BT	5/2/2024	
7	BT	5/2/2024	
8	BT	5/2/2024	
9	BT	5/2/2024	
10	BT	5/2/2024	
11	BT	5/2/2024	
12	BT	5/2/2024	
13	BT	5/2/2024	
14	BT	5/2/2024	
15	BT	5/2/2024	
16	BT	5/2/2024	
17	BT	5/2/2024	
18	BT	5/2/2024	
19	BT	5/2/2024	
20	BT	5/2/2024	
21	BT	5/2/2024	
22	BT	5/2/2024	
23	BT	5/2/2024	
24	BT	5/2/2024	
25	BT	5/2/2024	
26	BT	5/2/2024	
27	BT	5/2/2024	
28	BT	5/2/2024	
29	BT	5/2/2024	
30	BT	5/2/2024	

PROJECT NUMBER: 2023-04
 DRAWING FILE NAME: CS DRAINAGE PLAN

SCALE: 1" = 20'

LA TERRE ENGINEERING, LLC

CITY OF BATON ROUGE
 CITY PARISH PROJECT NO. 21-ASD-CP-1380

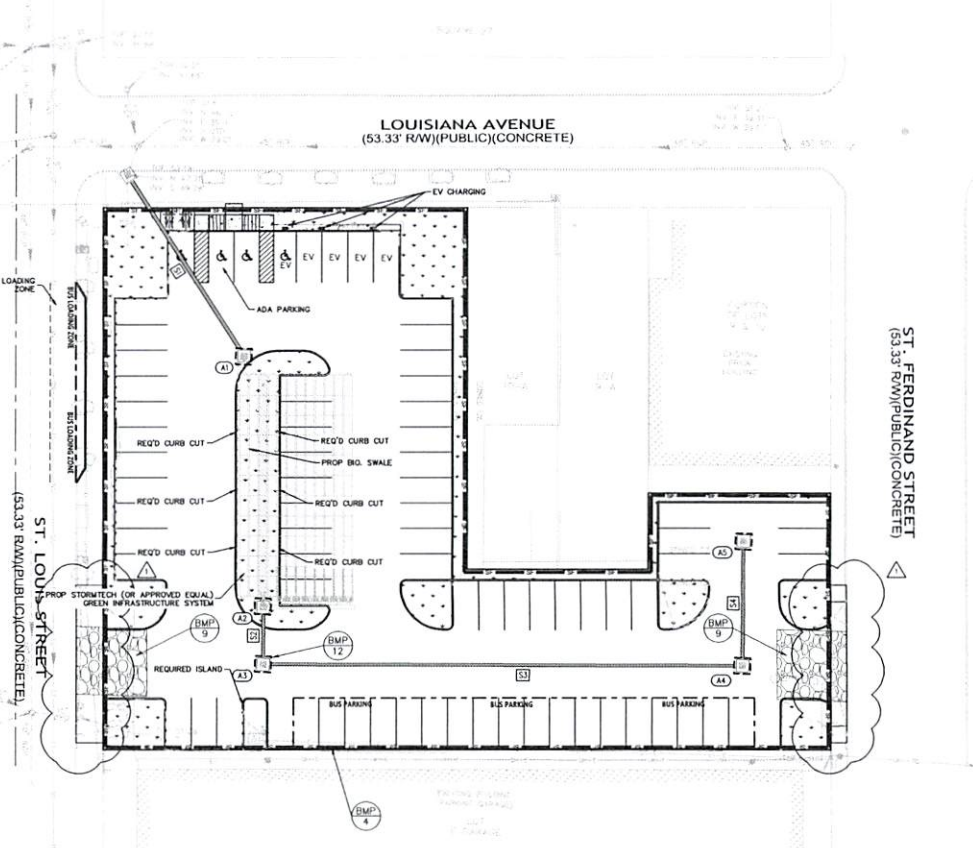
CS

SHEET INFO		REVISIONS	
DESIGNED BY	DATE	NO.	BY
LT			
DRAWN BY		1	LT
CHECKED BY			
APPROVED BY			
LAST EDIT	4/22/2024		
PLOT DATE	5/2/2024		
SCALE	1" = 20'		

EROSION CONTROL PLAN	
PROJECT NUMBER	23-3-04
PROJECT NAME	CS EROSION CONTROL PLAN

EROSION CONTROL PLAN
ST. FERDINAND PARKING LOT
CITY OF BATON ROUGE
CITY PARISH PROJECT NO. 21-MSD-CP-1980

SHEET NUMBER
C6



MINIMUM REQ'D BMP'S	BMP NUMBER	BMP NAME
X	1	MULCHING
X	2	EROSION CONTROL MATS
X	3	VEGETATION/SEEDING
X	4	SILT FENCE
X	5	STRAW BALE DIKE
X	6	TRIANGULAR SEDIMENT FILTER DIKE
X	7	DIVERSION DIKE
X	8	INTERCEPTOR SWALE
X	9	STABILIZED CONSTRUCTION ENTRANCE
X	10	CHECK DAMS
X	11	DUST CONTROL
X	12	INLET PROTECTION
X	13	DEWATERING OPERATIONS
X	14	MATERIAL DELIVERY AND STORAGE
X	15	SPILL PREVENTION AND CONTROL
X	16	LIME STABILIZATION
X	17	SAND BAG BERM
X	18	SEDIMENT BASIN
X	19	STONE OUTLET SEDIMENT TRAP
X	20	VEHICLE AND EQUIPMENT CLEANING
X	21	VEHICLE AND EQUIPMENT FUELING
X	22	SOLID WASTE MANAGEMENT
X	23	HAZARDOUS WASTE MANAGEMENT
X	24	CONCRETE WASTE MANAGEMENT
X	25	SANDBLASTING WASTE MANAGEMENT
X	26	CONTAMINATED SOIL MANAGEMENT
X	27	SANITARY/SEPTIC WASTE MANAGEMENT
X	28	PIPE SLOPE DRAIN
X	29	PERMANENT STRUCTURE CONTROLS
X	30	TEMPORARY SEDIMENT TANK

BMP NOTES:

- BMP-2: EROSION CONTROL MATS TO BE PLACED FOR STABILIZATION OF 3:1 SLOPED BANK ALONG MITIGATION AREA.
- BMP-3: ALL EXPOSED DISTURBED SURFACES NOT REQUIRING SOO OR SEEDED EROSION CONTROL MATTING MUST BE HYDRO-SEEDED TO ESTABLISH PERMANENT STABILIZATION.
- BMP-4: SILT FENCES ARE TO BE CONSTRUCTED ALONG A LINE OF CONSTANT ELEVATION (ALONG A CONTOUR LINE) WHERE POSSIBLE. MAXIMUM SLOPE ADJACENT TO SILT FENCE IS 1:1. MAXIMUM DISTANCE OF FLOW TO SILT FENCE SHOULD BE 20FT OR LESS. MAXIMUM CONCENTRATED FLOW TO SILT FENCE SHALL BE 1.0 CFS PER 20 FT OF FENCE. IF 50% OR LESS OF SOIL, BY WEIGHT, PASSES THE U.S. STANDARD SIEVE NO. 200, SELECT THE EQUIVALENT OPENING SIZE (E.O.S.) TO RETAIN 85% OF SOIL. MAXIMUM EQUIVALENT OPENING SIZE SHALL BE 70.
- BMP-5: STRAW BALE DIKES ARE TO CONSTRUCTED WHERE SPECIFIED ALONG A LINE OF CONSTANT ELEVATION (ALONG A CONTOUR LINE). MAXIMUM CONTRIBUTING DRAINAGE AREA SHALL BE 25 ACRE PER 100 LINEAR FEET OF DIKE. MAXIMUM DISTANCE OF FLOW TO DIKE SHOULD BE 100 FT OR LESS.
- BMP-9: THE STABILIZED CONSTRUCTION ENTRANCE IS TO BE CONSTRUCTED SUCH THAT DRAINAGE ACROSS THE ENTRANCE LINE IS DIRECTED TO A CONTROLLED, STABILIZED OUTLET ON SITE WITH PROVISIONS FOR STORAGE. THE ENTRANCE MUST BE PROPERLY GRADED SO THAT STORM WATER IS NOT ALLOWED TO LEAVE THE SITE AND ENTER ROADWAYS.
- BMP-14: DESIGNATE AN AREA OF CONSTRUCTION SITE FOR MATERIAL

DELIVERY AND STORAGE. PLACE NEAR CONSTRUCTION ENTRANCE, AWAY FROM WATERWAYS. AVOID TRANSPORT NEAR DRAINAGE PATH OR WATERWAYS. SURROUND WITH EARTH BERMS.

BMP-15: CLEAN UP LEAKS AND SPILLS IMMEDIATELY. ON PAVED SURFACES, CLEAN UP SPILLS WITH AS LITTLE WATER AS POSSIBLE. USE A RAG FOR SMALL SPILLS. MOP FOR GENERAL CLEANUP AND ABSORBENT MATERIAL FOR LARGER SPILLS. IF THE SPILLED MATERIAL IS HAZARDOUS, DISPOSE OF CLEANUP MATERIALS AS HAZARDOUS WASTE. NEVER DOWN OR BURY DRY MATERIALS SPILLS. SWEEP UP OR EXCAVATE THE MATERIAL AND DISPOSE OF PROPERLY. SEE THE WASTE MANAGEMENT BMP'S, STANDARD PLAN 903-1.

BMP-20: PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORM WATER FROM VEHICLE AND EQUIPMENT CLEANING BY USING OFF-SITE FACILITIES. IF WASHING MUST OCCUR ON SITE, USE DESIGNATED, BERMED WASH AREAS, TO PREVENT WASH WATER CONTACT WITH STORM WATER AND/OR OTHER WATER BODIES. USE AS LITTLE WATER AS POSSIBLE TO AVOID HAVING TO INSTALL EROSION AND SEDIMENT CONTROL. FOR WASH AREA, USE PHOSPHATE-FREE STEAM CLEANING ON SITE IS NOT PERMITTED. THE REMOVAL OF SOIL FROM TRUCK TIRES WILL TAKE PLACE IN A DESIGNATED AREA BEFORE LEAVING SITE. AREA SHOULD BE AWAY FROM DRAINAGE CONVEYANCES. A VEGETATIVE BUFFER AREA SHOULD BE LOCATED DOWNSTREAM OF THE TIRE WASH. FOR HEAVY USE OF TIRE WASH AREA, SILT FENCING, OR SEDIMENT TRAPPING MAY BE NECESSARY.

BMP-21: USE OFF-SITE FUELING STATIONS AS MUCH AS POSSIBLE. IF FUELING MUST OCCUR ON-SITE, USE DESIGNATED AREAS, LOCATED AWAY FROM DRAINAGE COURSE TO PREVENT THE RUNOFF OF STORM WATER AND THE RUNOFF OF SPILLS, NO "TOPPING-OFF" OF FUEL

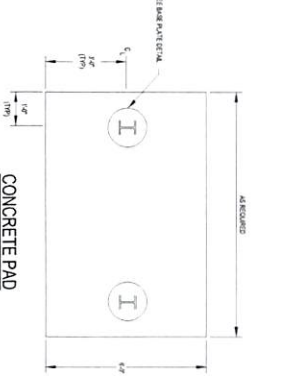
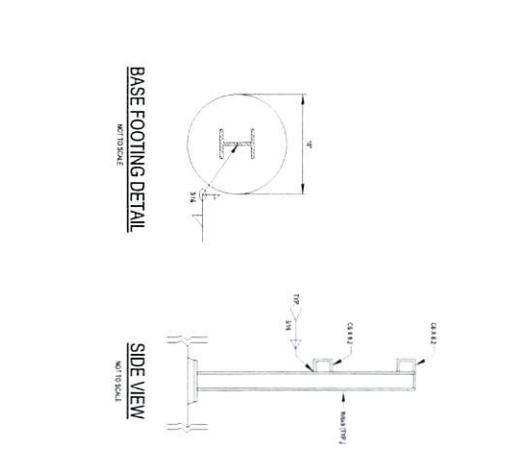
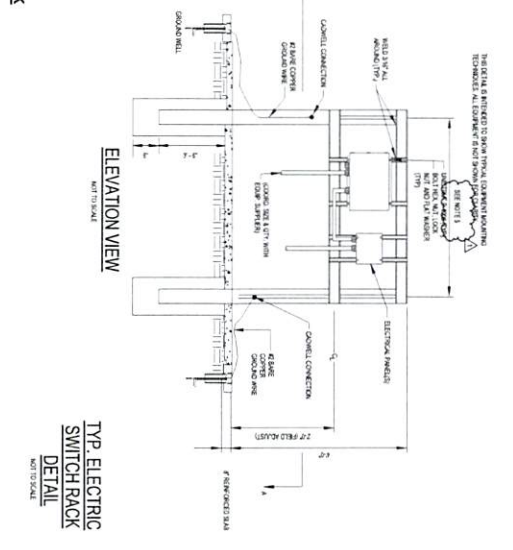
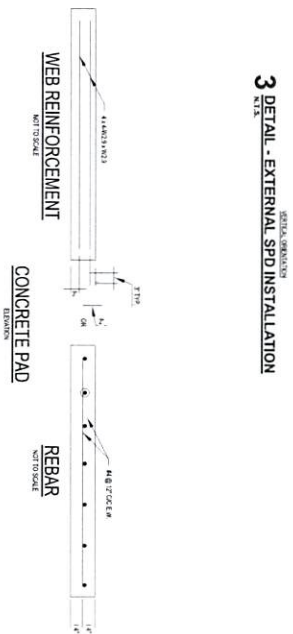
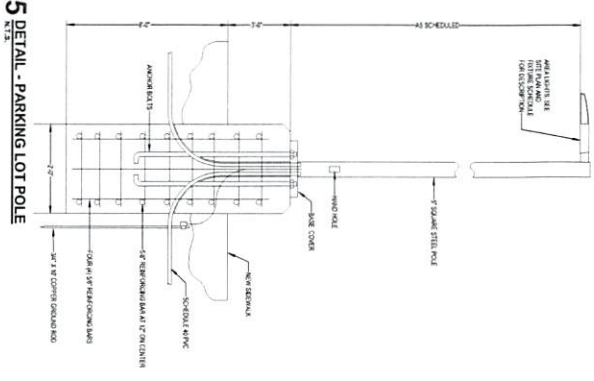
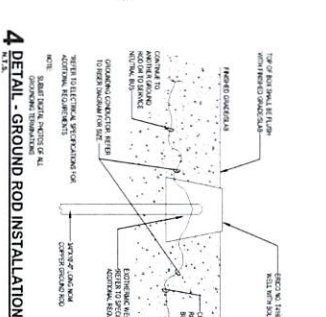
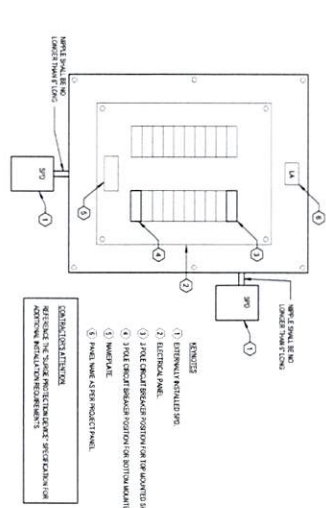
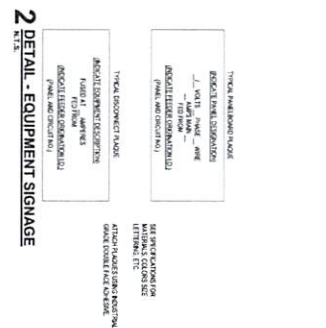
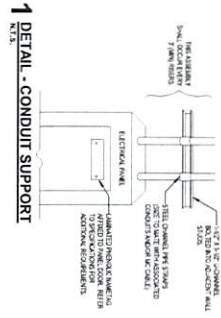
TANKS. ALWAYS USE SECONDARY CONTAINMENT, SUCH AS A DRAIN PAN, WHEN FUELING TO CATCH SPILLS/LEAKS. PLACE A STOCKPILE OF SPILL CLEANUP MATERIALS WHERE IT WILL BE READILY ACCESSIBLE. USE ABSORBENT MATERIALS ON SMALL SPILLS RATHER THAN HOSING DOWN OR BURYING SPILL. REMOVE THE ABSORBENT MATERIALS PROMPTLY AND DISPOSE OF PROPERLY. CARRY OUT ALL FEDERAL AND STATE REQUIREMENTS REGARDING STATIONARY ABOVE GROUND STORAGE TANKS. DO NOT USE MOBILE FUELING OF MOBILE CONSTRUCTION EQUIPMENT AROUND THE SITE. TRANSPORT EQUIPMENT TO DESIGNATED FUELING AREAS.

BMP-22: WHEREVER POSSIBLE, MINIMIZE PRODUCTION OF SOLID WASTE MATERIALS. DESIGNATE A FOREMAN OR SUPERVISOR TO OVERSEE AND ENFORCE PROPER SOLID WASTE PROCEDURES. FOLLOW PROPER SOLID WASTE PROCEDURES. SEGREGATE POTENTIALLY HAZARDOUS WASTE FROM NON-HAZARDOUS CONSTRUCTION SITE DEBRIS. UNCONTAMINATED CONSTRUCTION AND DEMOLITION (C&D) WASTE, SUCH AS CONCRETE AND WOOD COLLECTED DURING CONSTRUCTION MAY BE STORED IN NEAT PILES PROVIDED STORM WATER RUNOFF WILL NOT BE BLOCKED OR CONTAMINATED. STOCKPILED MATERIAL MUST BE REMOVED AND DISPOSED OF AT AN APPROVED L.D.E.Q. DISPOSAL SITE.

GENERAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS OF THE STORM WATER POLLUTION PREVENTION PLAN (S.W.P.P.P.).
- UNCONTAMINATED CONSTRUCTION AND DEMOLITION (C&D) WASTE, SUCH AS CONCRETE AND WOOD COLLECTED DURING CHANNEL CLEARING MAY BE STORED IN NEAT PILES PROVIDED STORM WATER RUNOFF WILL NOT BE BLOCKED OR CONTAMINATED. STOCKPILED MATERIAL MUST BE REMOVED AND DISPOSED OF AT AN APPROVED L.D.E.Q. DISPOSAL SITE. (BMP-22)
- ALL HAZARDOUS WASTE MATERIALS COLLECTED OR UTILIZED MUST BE STORED, USED, AND DISPOSED OF IN THE MANNER SPECIFIED BY L.D.E.Q. REGULATIONS AND BY THE MANUFACTURER. (BMP-23)
- A STABILIZED CONSTRUCTION ENTRANCE MUST BE PROVIDED BY THE CONTRACTOR AT ALL SITE ACCESS POINTS TO MINIMIZE VEHICLE TRACKING OF MUD AND SEDIMENTS ONTO STREETS. STREETS ADJACENT TO SITE ENTRANCE AND EXITS MUST BE KEPT CLEAN OF EXCESS MUD, DIRT OR MATERIALS TRACKED FROM THE SITE. STABILIZED CONSTRUCTION ACCESS LOCATION AS SHOWN ON THE S.W.P.P.P. ARE ONLY SUGGESTIONS AND SHALL BE CONTROLLED BASED UPON ACCESS UTILIZED BY THE CONTRACTOR. (BMP-9)
- THE CONTRACTOR MUST IMPLEMENT "GOOD HOUSEKEEPING" MEASURES TO KEEP THE CONSTRUCTION SITE IN A NEAT AND ORDERLY MANNER. (BMP-14.21 & 22)
- ALL EXPOSED DISTURBED SURFACES MUST BE SEEDED AND MULCHED TO ESTABLISH PERMANENT STABILIZATION. (BMP-3)
- ALL INTERCEPTOR SWALES SHALL DRAIN THROUGH EITHER A HAYBALE OR SILT FENCE FILTER BEFORE DISCHARGING TO OUTLET DRAIN.

DATE: 5/3/2024, 12:08 PM | AUTHOR: (Unknown) | PLOTTER: DMC to PDF.plt | Path: C:\Users\jlpres@lterre.com\AppData\Local\Temp\AutoCAD\Plot\2024\5/3/2024 12:08 PM\23-3-04 - Erosion Control Plan.dwg | (LAYOUT: c6)





**CITY OF BATON ROUGE
PARISH OF EAST BATON ROUGE**

Department of Buildings & Grounds
Architectural Services
225-389-4694 Voice
225-389-4704 Fax

LETTER OF TRANSMITTAL

DATE	5/3/2024	JOB NO.	21-ASC-CP-1515
ATTENTION	Arvin Jones		
PROJECT:	New Downtown Surface Lot		
RE:			

TO

Arvin Jones
Purchasing

WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

Shop drawings Prints Plans Samples Specifications
 Copy of letter Change Order Addendum No. 2

COPIES	DATE	NO.	DESCRIPTION
1	5/3/2024		USB Stick - New Downtown Surface Parking Lot (21-ASC-CP-1515)
			ESTIMATE: \$600,000.00 - REQ. 2024 / 4415
			BID OPENING: Thursday, May 9, 2024
			Ad Dates: April 19, 26 and May 3, 2024

THESE ARE TRANSMITTED as checked

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> For approval | <input type="checkbox"/> Approved as submitted | <input type="checkbox"/> Resubmit _____ copies for approval |
| <input type="checkbox"/> For your use | <input type="checkbox"/> Approved as noted | <input type="checkbox"/> Submit _____ copies for approval |
| <input type="checkbox"/> As requested | <input type="checkbox"/> Returned for corrections | <input type="checkbox"/> Return _____ copies for approval |
| <input type="checkbox"/> For review and comment | <input type="checkbox"/> For bids due _____ | <input type="checkbox"/> Prints returned after loan to us |
| | <input checked="" type="checkbox"/> Central Auction House for processing | |

REMARKS Arvin,

See attached USB Stick of Addendum No. 2 for New Downton Surface Parking Lot (21-ASC-CP-1515).

If you have any further question, you may contact Sean Johnson, Project Manager.

Thank you very much,
J. Gordon

COPY TO Sean Johnson, Project Manager

FROM: J. Gordon - Bldgs/Grounds - ASD

SIGNED:

If enclosures are not as noted, kindly notify us at once.

Arvin F. Jones

From: Sean M. Johnson
Sent: Friday, May 3, 2024 1:00 PM
To: Arvin F. Jones
Cc: Josephine Gordon; Monica Springer
Subject: Addendum 2 St. Ferdinand Street New Surface Parking Lot
Attachments: ADD2_New Surface Parking Lot.pdf

Please see attached addendum for above referenced project.

Thanks,

SEAN M JOHNSON, AIA
(225) 241-4406 cell
CHIEF ARCHITECT

ARCHITECTURAL SERVICES DIVISION
DEPARTMENT OF BUILDINGS AND GROUNDS
1100 LAUREL STREET, RM. 227 ZIP CODE 70802
CITY OF BATON ROUGE • PARISH OF EAST BATON ROUGE

225.389.4694 office
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SMJohnson@BrLa.gov