

Addendum Number 1

May 14, 2024

**MULTIMEDIA CENTER RENOVATION
W.W. STEWART HALL**
Southern University and A&M College
Baton Rouge, Louisiana 70813

Bid # 10321

10:30 A.M.

May 28, 2024

*Note: Date to submit bid changed from May 20, 2024 to May 28, 2024.
Time remains the same.*

The following modifications to the referenced project shall be incorporated into the original specifications and/or plans. Unless a change is specifically made by addendum, the specifications and/or plans as issued shall govern.

Bids shall be accepted in the Purchasing Department by above date and time

**Note: Vendors are required to acknowledge receipt of this addendum on
the Louisiana Uniform Public Work Bid Form**

Attachments:

- Clarifications
- Drawings
- Pre-Bid & Site Visit Sign-in sheets
- List of LA Licensed Vendors

*Note: Date to submit bid changed from May 20, 2024 to May 28, 2024. Time remains the same. If
needed Addendum #2 will be submitted later.*



Linda Antoine, Director of Purchasing

Date 5/14/24

BID # 10321
MULTIMEDIA CENTER RENOVATION
W.W. STEWART HALL

1

ADDENDUM 1

May 8, 2024

Southern University
Mass Communications Renovation
Baton Rouge, Louisiana

This Addendum, which contains revisions to the Work contained in the **Contract Documents** dated **February 5, 2024** shall become a part of such Drawings and Specifications as if bound therein. Other requirements shall remain as specified.

The above named Contract Documents are hereby modified, corrected, and/or supplemented by this Addendum as follows:

PERTAINING TO DRAWINGS

1. Please find attached the following drawings that have been revised from the February 5, 2024 Bid Document Set:
 - Sheet G1.01- Wall Types
 - Sheet A1.00- Demolition Plan
 - Sheet A1.01- Renovation Floor Plan
 - Sheet A2.00- Elevations
 - Sheet A3.00- Sections
 - Sheet A3.01- Sections
 - Sheet A5.02- Door and Window Schedules
 - Sheet A6.01- Interior Elevations
 - Sheet A8.00- Demolition Ceiling
 - Sheet A8.01 Renovation Ceiling Plan
 - Sheet M1.00- Mechanical Plan
 - Sheet E0.00- Electrical Cover Sheet
 - Sheet E1.01- Electrical Demo Plan
 - Sheet E1.02- Electrical Overall Plan
 - Sheet E1.03- Electrical Power Plan
 - Sheet E2.00- Electrical Lighting Plan
 - Sheet E3.00- Enlarged Plan, Schedule and Exst Riser
 - Sheet E3.01- Electrical One Line Diagram
 - Sheet E4.00- Electrical Schedules
 - Sheet E5.00- Electrical Details

GENERAL CLARIFICATIONS

1. Please see Pre-Bid Conference Meeting Minutes, included herein.
2. Please see Sign-In Sheet for Pre-Bid Conference, also included.

END OF ARCHITECTURAL ADDENDUM 1

MULTI-MEDIA CENTER RENOVATION FOR:
SOUTHERN UNIVERSITY
 BATON ROUGE, LOUISIANA

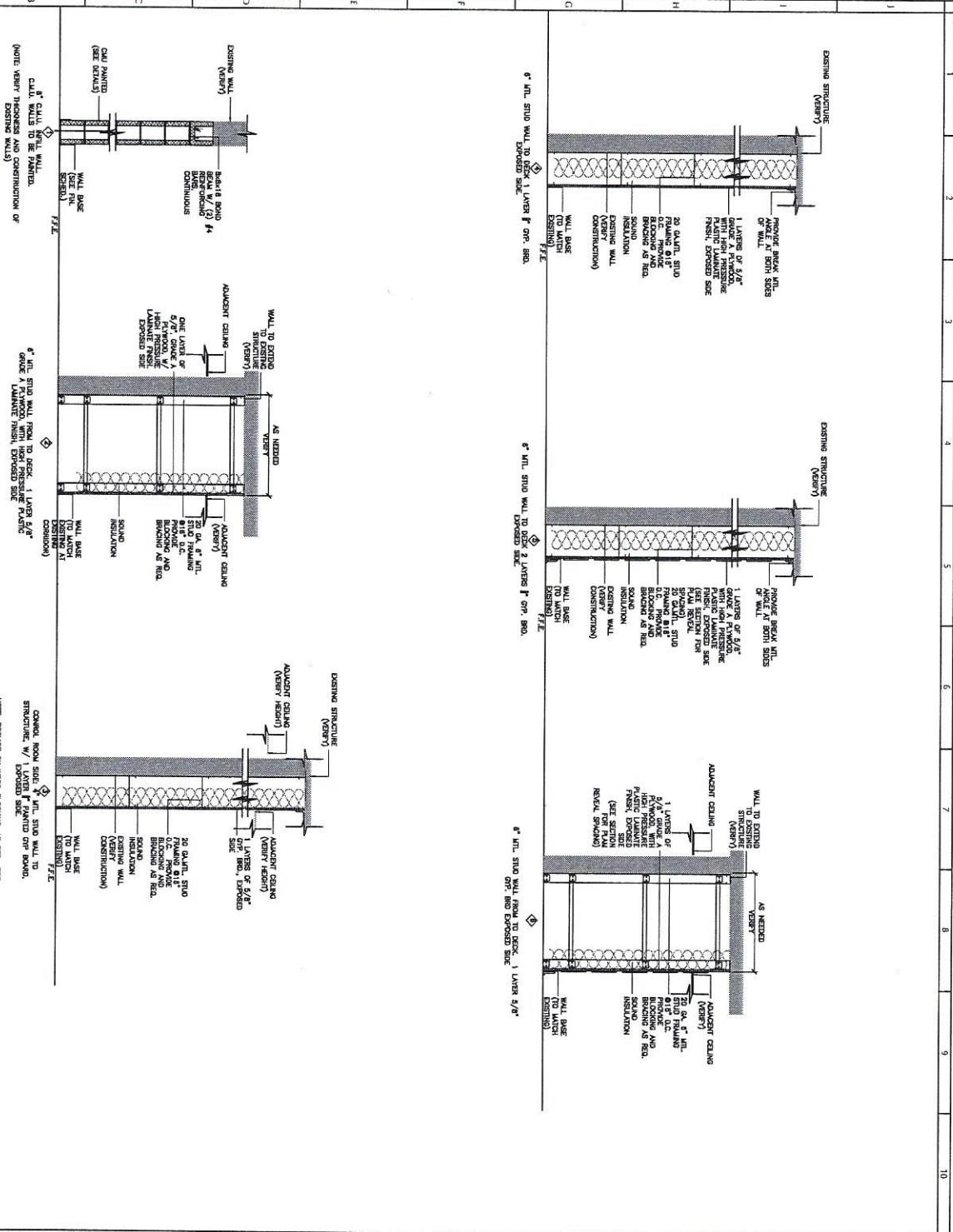
PROJECT: M3A/RENOV
 ARCHITECT: M3A/RENOV
 PROJECT NUMBER: 22-022
 DRAWN BY: ELIASHI
 CHECKED BY: M3A/RENOV
 REVISIONS: 1
 2
 3
 4



SHEET TITLE:
 Wall Types

SHEET NUMBER:
 C1.01

ALL CONCEPTS AND IDEAS CONVEYED IN CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF M3A ARCHITECTURE, PLLC AND ASSOCIATED CONSULTANTS. THEY ARE SOLELY INTENDED FOR USE ON THIS PROJECT. ANY REUSE, REPRODUCTION OR ANY OTHER UNWARRANTED APPLICATION OF THESE DOCUMENTS ARE STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF M3A ARCHITECTURE, PLLC. DO NOT SCALE FROM DRAWINGS. DIMENSIONS AND NOTES ARE PROVIDED TO ALLOW FOR ACCURATE CONSTRUCTION OF THE PROJECT. QUESTIONS ARISING FROM DIMENSIONS SHOULD BE RESOLVED BY CONTACTING THE ARCHITECT.



A1 Wall Types
 Scale: 1/8" = 1'-0"

- WALL TYPE GENERAL NOTES**
- INSTALL FIRE RATED SOLANT @ TOP AND BOTTOM OF ALL FIRE RATED WALLS. ALSO SEAL ALL ENDS OF FIRE RATED WALLS WITH FIRE RATED SOLANT.
 - ALL RATED WALLS TO EXTEND TO ROOM ABOVE.
 - ANY PENETRATION OF A RATED WALL TO HAVE PENETRATING THE WALL, AS WELL AS FIRESTOPPING SOLANT AROUND THE PENETRATION.
 - REFER TO THE FINISH SPECIFICATIONS FOR LOCATIONS.
 - INSTALL THE SOLANT AS NECESSARY IN JOINTS BETWEEN TOP OF WALLS AND METL DECK.
 - DO NOT CREATE DISCONTINUITIES IN FIRE STOPPING MATERIALS.
 - REFER TO THE FINISH SPECIFICATIONS FOR LOCATIONS.
 - PROVIDE FIRESTOP SYSTEMS CONSISTING OF A MINIMUM OF TWO LAYERS OF FIRESTOPPING MATERIALS IN CONJUNCTION WITH ANOTHER FIRE-RATED CONSTRUCTION BY MAINTAINING AN 8" FLAME BARRIAGE AND/OR NOT LESSER THROUGH PENETRATIONS. BULK DRAINAGE CONSTRUCTION IN OR ADJACENT TO FIRE-RATED BARRIERS IN BUILDING CODE FOR THIS PROJECT.
 - FIRESTOP SYSTEMS SHALL BE USED IN LOCATIONS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
 - PENETRATIONS THROUGH FIRE-RESISTANCE-RATED FLOOR AND ROOF ASSEMBLIES INCLUDING BOTH SLIGHT PENETRATIONS AND PENETRATIONS THAT EXCEED PENETRATIONS.
 - PENETRATIONS THROUGH FIRE-RESISTANCE-RATED FLOOR AND ROOF ASSEMBLIES INCLUDING BOTH SLIGHT PENETRATIONS AND PENETRATIONS THAT EXCEED PENETRATIONS.
 - RESISTANCE-RATED WALL ASSEMBLIES WHERE THEY PENETRATE ONE SIDE OF A WALL.
 - JOINTS IN FIRE-RESISTANCE-RATED ASSEMBLIES TO ALLOW IMPROVED MONUMENT.
 - PERIMETER FIRE BARRIER SYSTEM BETWEEN WALL ASSEMBLY, FLOOR AND AN EXTERIOR TERRACE OR BUILDING CONTROL CLADDED IN TERRACE.
 - CONCRETE JOINTS SHALL BE INSTALLED WHERE UNINTERRUPTED THROUGH FLOOR PENETRATION.
 - DO NOT LOCATE INTERIOR CEILING JOINTS WITH PERIMETER SEAL. SEAL SHALL BE INSTALLED SO JOINTS DO NOT EXCEED 50 FT (15.2400 M) AND TOP JAMB BETWEEN CONTROL JOINTS.
 - CONCRETE JOINTS IN INTERIOR CEILING WITHOUT JOINTS DO NOT EXCEED 30 FT (9.1400 M).
 - CONCRETE JOINTS IN INTERIOR CEILING WITH JOINTS DO NOT EXCEED 50 FT (15.2400 M).
 - CONCRETE JOINTS IN INTERIOR CEILING AND DIMENSIONS BETWEEN CONTROL JOINTS DO NOT EXCEED 50 FT (15.2400 M).
 - CONCRETE JOINTS IN INTERIOR CEILING SHALL BE INSTALLED WHERE CEILING FINISHING.
 - SHALL BE INSTALLED WHERE CEILING FINISHING.
 - WHERE A CONTROL JOINT OCCURS IN AN ACQUISITION PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL JOINT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL JOINT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL JOINT.
 - WHERE A CONTROL JOINT OCCURS IN AN ACQUISITION PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL JOINT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL JOINT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL JOINT.
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- ① PROVIDE NEW FLOORING (AS PER SPEC)
- ② PRIME AND PAINT EXISTING ROOM AND PAINT EXISTING WALLS, AS PER SPEC (SEE SCHEDULE)
- ③ PROVIDE NEW CEILING FINISH (AS PER SPEC)
- ④ PROVIDE NEW HANGERS (AS PER SPEC) SEE DETAIL (A) AND (B)
- ⑤ CONTROL ROOM, SIDE CORNER EXISTING FINISH TO REMAIN ON LEFT, NEW FINISH TO REMAIN ON RIGHT (SEE SCHEDULE)
- ⑥ PROVIDE NEW STAIRS, CONSULT OWNER FOR FINISHES AND ASSOCIATED CONSTRUCTION DETAILS TO ALLOW SET BACK SETTING EXISTING CORNER WINDOW WITH (6'-0" GRAB BAR @ 30")
- ⑦ PREP, PRIME, AND PAINT EXISTING MILLWORK, REPLACE PLASTER (UNLESS NOTED)
- ⑧ PROVIDE NEW HOLLOW METAL WINDOW AS REQ. (AS PER SPEC)
- ⑨ PROVIDE NEW STAIRWELL, WALL AND CEILING FINISH AND ASSOCIATED CONSTRUCTION DETAILS TO ALLOW SET BACK SETTING EXISTING CORNER WINDOW WITH (6'-0" GRAB BAR @ 30")
- ⑩ PREPARE FINISH (AS PER SPEC)
- ⑪ FINISHES, NEW ADJUSTABLE SOUND PANELS, AS PER SPEC
- ⑫ PROVIDE NEW ALUMINUM DOOR AND FRAME (AS SCHEDULED)
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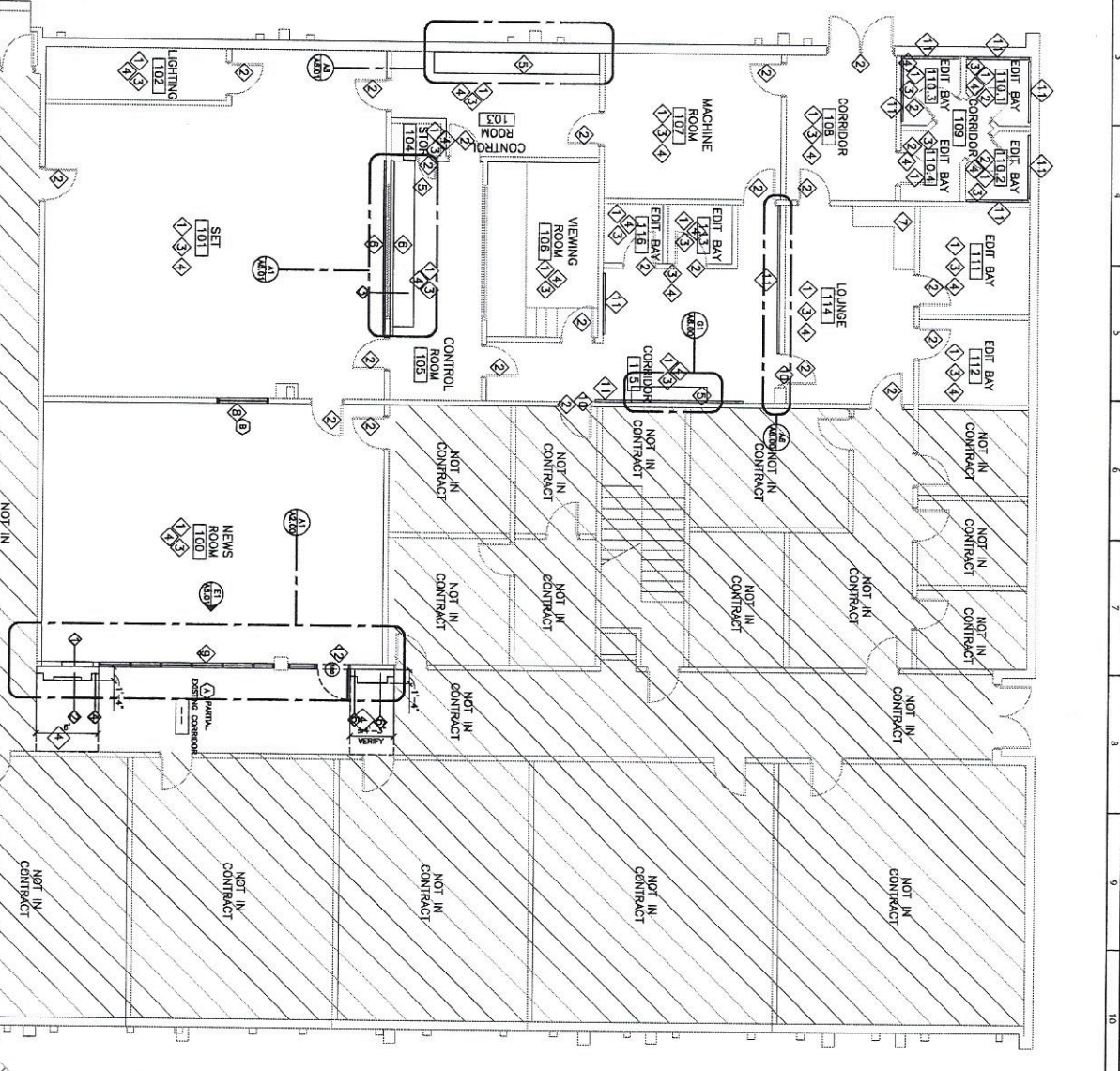
 NORTH NORTH



 GRAPHIC SCALE 1/4" = 1'-0"

Renovation Floor Plan

 A1.01 Scale: 3/16" = 1'-0"



GENERAL RENOVATION NOTES

UNLESS OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ARE TO THE FINISHED FACE.

ALL VERTICAL DIMENSIONS SHOWN ARE FROM FLOOR SLAB, UNLESS OTHERWISE NOTED.

DIMENSIONS SHOWN IN FINISHES HAVE PRECEDENCE OVER ANY DETAILS HAVE PRECEDENCE OVER SCHEDULED FINISHES. FINISHES SHALL BE AS SHOWN IN THE FINISHES SCHEDULED OVER ANY PRECEDENCE OVER SCHEDULED FINISHES.

THE TERM "FIRST" IS USED IN THESE DOCUMENTS TO MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE OF THE FIRST OCCURRENCE UNLESS OTHERWISE NOTED.

THE TERM "LAST" IS USED IN THESE DOCUMENTS TO MEAN TO ACCURATELY LOCATE FINISHES IN THE SAME PLANE AS THE LAST OCCURRENCE UNLESS OTHERWISE NOTED.

DETAILS ARE USUALLY REFERRED TO BY THE TERM "DETAIL" ONLY. ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.

WHERE EXISTING REVISIONS, AND/OR FINISHES ARE NOTED TO REMAIN, THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND PROVIDE EVIDENCE TO THE ARCHITECT. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE ARCHITECT. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE ARCHITECT.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF ALL WALLS AND CEILING AS REQUIRED TO ALLOW ACCESS TO WORK. CONTRACTOR SHALL VERIFY A PLAN OF ALL ROOMS, CORRIDORS, STAIRS, AND ELEVATORS TO BE PROVIDED ACCESS PANELS LOCATIONS TO ASSIST FOR ALL REQUIREMENTS OF THESE DOCUMENTS SHALL BE PROHIBITED TO MAINTAIN RECORD.

WHERE OCCURRING, COMPARTMENTS SHALL BE OPENED UP AND ALL WALLS AND PARTITIONS AS NOTED TO REMAIN SHALL BE REFINISHED AND ALL WALLS AND PARTITIONS AS NOTED TO REMAIN SHALL BE REFINISHED AND ALL WALLS AND PARTITIONS AS NOTED TO REMAIN SHALL BE REFINISHED.

INTERIOR WALLS CEILING, AND FLOOR SHALL BE REFINISHED AND ALL WALLS AND PARTITIONS AS NOTED TO REMAIN SHALL BE REFINISHED AND ALL WALLS AND PARTITIONS AS NOTED TO REMAIN SHALL BE REFINISHED.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF ALL WALLS AND CEILING AS REQUIRED TO ALLOW ACCESS TO WORK. CONTRACTOR SHALL VERIFY A PLAN OF ALL ROOMS, CORRIDORS, STAIRS, AND ELEVATORS TO BE PROVIDED ACCESS PANELS LOCATIONS TO ASSIST FOR ALL REQUIREMENTS OF THESE DOCUMENTS SHALL BE PROHIBITED TO MAINTAIN RECORD.

ALL NEW CONSTRUCTION MATERIALS SHALL BE 100% RECYCLED FIBER.

ALL CONCEPTS, AND IDEAS CONVEYED IN CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF M3A ARCHITECTURE, PLLC AND ASSOCIATED CONSULTANTS. THEY ARE SOLELY INTENDED FOR USE ON THIS PROJECT. ANY REUSE, REPRODUCTION OR ANY OTHER UNWARRANTED APPLICATION OF THESE DOCUMENTS ARE STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF M3A ARCHITECTURE, PLLC. DO NOT SCALE FROM DRAWINGS. DIMENSIONS ARE PROVIDED TO ALLOW FOR ACCURATE CONSTRUCTION OF THE PROJECT. QUESTIONS ARISING FROM DIMENSIONS SHOULD BE RESOLVED BY CONTACTING THE ARCHITECT.



M3A ARCHITECTURE

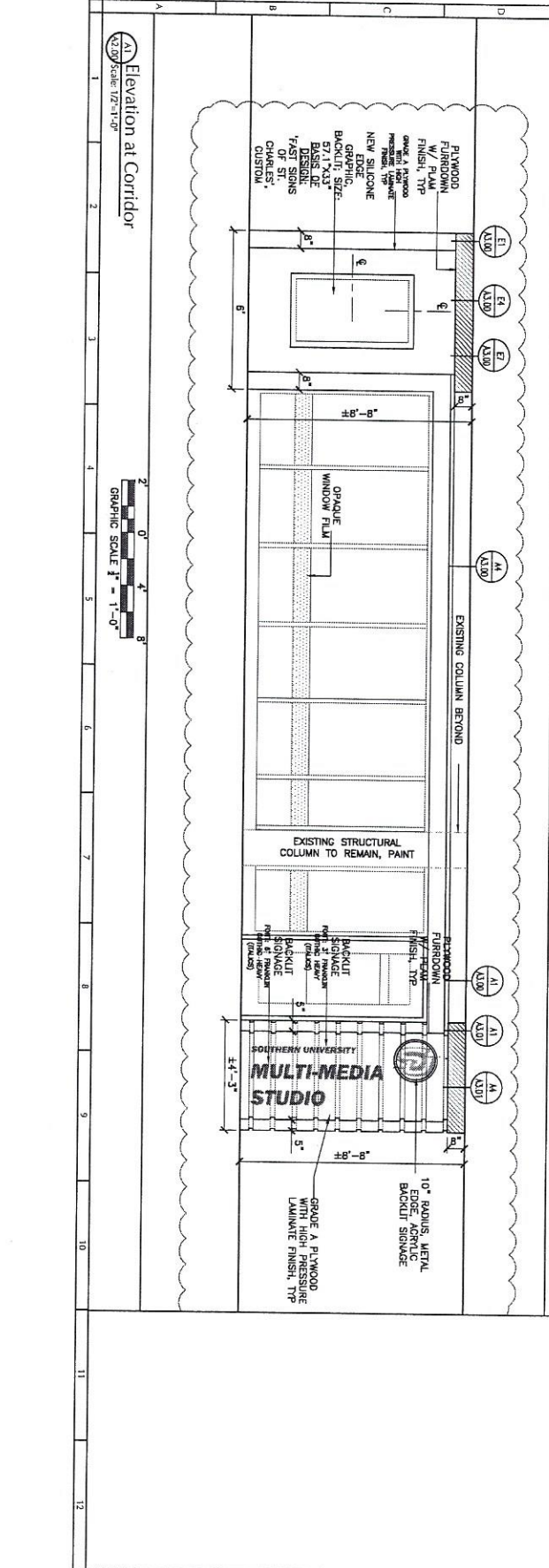
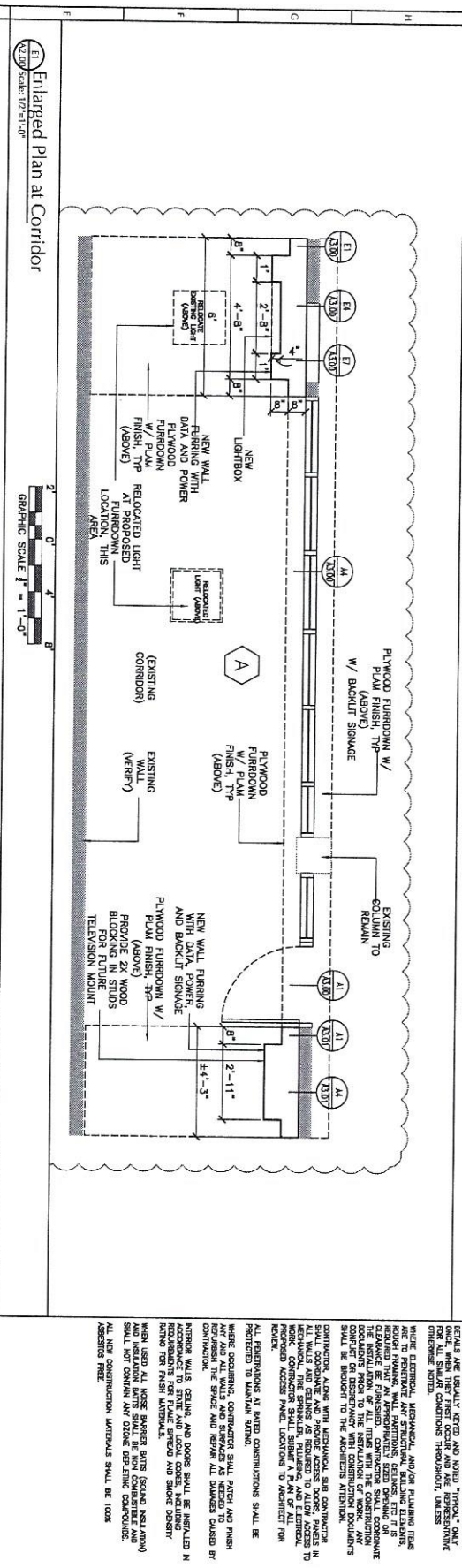
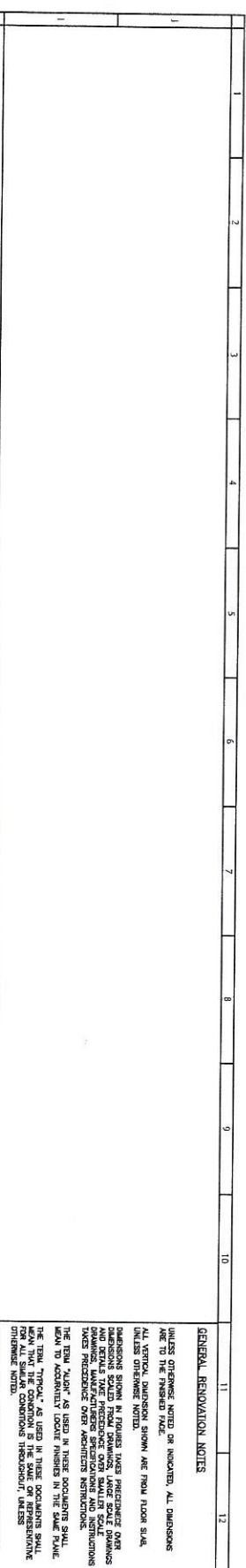
a professional limited liability company
 William L. Mackey, AIA, NCARB
 4800 ACQUVILLE CIRCLE
 JACKSON, MISSISSIPPI 39206
 TEL: (601) 581-1227
 FAX: (601) 581-4444
 PROJECT:

Renovation Floor Plan
 SHEET NUMBER: **A1.01**
 M3A ARCHITECTURE, PLLC

MULTI-MEDIA CENTER RENOVATION FOR:
SOUTHERN UNIVERSITY
 BATON ROUGE, LOUISIANA

PROJECT ARCHITECT: M3A
 PROJECT NUMBER: 22402
 DATE: 02/25/2024
 DRAWN BY: TRAVIS
 CHECKED BY: M3A
 REVISIONS: 1, 2, 3, 4

SEAL:



GENERAL RENOVATION NOTES

UNLESS OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ARE TO THE FINISHED FACE.

ALL VERTICAL DIMENSIONS SHOWN ARE FROM FLOOR SHALL UNLESS OTHERWISE NOTED.

CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE CODES. CONTRACTOR SHALL MAINTAIN ALL EXISTING CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.

THE TERM "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE THROUGHOUT, UNLESS OTHERWISE NOTED.

DETAILS ARE USUALLY NOTED AND NOTED THROUGHOUT, UNLESS OTHERWISE NOTED.

WHERE EXISTING MATERIALS AND/OR FINISHES ARE NOT TO REMAIN, CONTRACTOR SHALL REMOVE AND REPAIR AS NOTED. CONTRACTOR SHALL MAINTAIN ALL EXISTING CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.

ALL DIMENSIONS SHALL BE TO THE FINISHED FACE, UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL MAINTAIN ALL EXISTING CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL MAINTAIN ALL EXISTING CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL MAINTAIN ALL EXISTING CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.

Enlarged Plan at Corridor

Scale: 1/8" = 1'-0"

GRAPHIC SCALE 1/8" = 1'-0"

Elevation at Corridor

Scale: 1/8" = 1'-0"

GRAPHIC SCALE 1/8" = 1'-0"

SEAL

PROJECT: M3A ARCHITECTURE

PROJECT ARCHITECT: M3A ARCHITECTURE

DATE: 02-06-2024

DRAWN BY: PLAN/AR

CHECKED BY: M3A ARCHITECTURE

REVISIONS: 1

2

3

4

SHEET NUMBER

A2.00

M3A ARCHITECTURE, PLLC

MULTI-MEDIA CENTER RENOVATION FOR: SOUTHERN UNIVERSITY

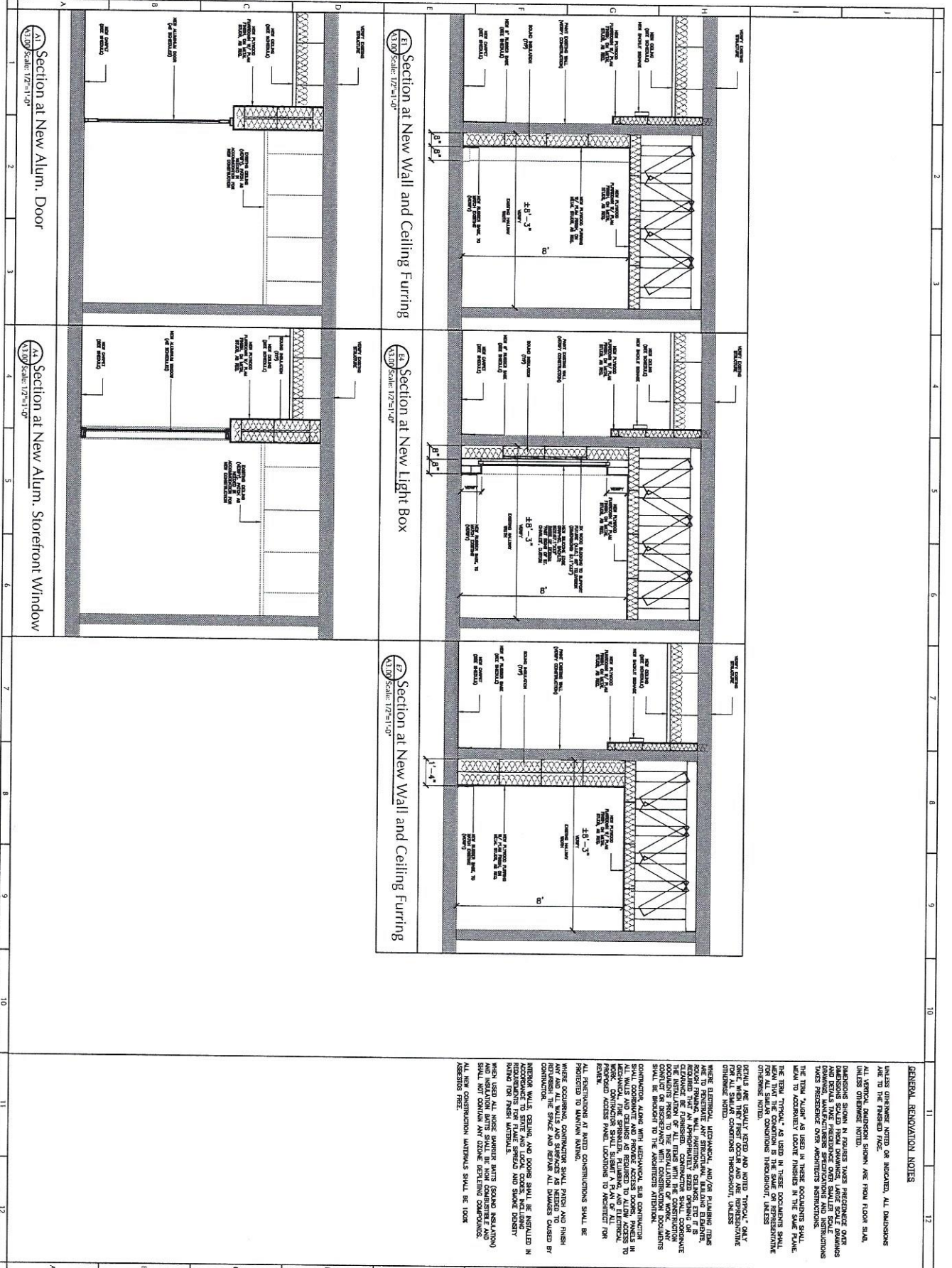
BATON ROUGE, LOUISIANA

Professional Limited Liability Company
 William L. Keefe, AIA, NCARB
 4800 MACYVILLE CIRCLE
 JACKSON, MISSISSIPPI 39206
 TELEPHONE: (601) 581-1227
 FACSIMILE: (601) 582-4444
 PROJECT:

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M3A

ARCHITECTURE



GENERAL RENOVATION NOTES

UNLESS OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ARE TO THE FINISHED FLOOR.

ALL VERTICAL DIMENSIONS SHOWN ARE FROM FLOOR SHALL BE PRESERVED OVER EXISTING WORK.

THE TERM "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE OF THE CONDITION THROUGHOUT, UNLESS OTHERWISE NOTED.

DETAILS ARE USUALLY NOTED AND NOTED "TYPICAL" ONLY ONE, WHEN THEY FIRST OCCUR AND ARE REPRESENTATIVE OF THE CONDITION THROUGHOUT, UNLESS OTHERWISE NOTED.

WHERE EXISTING MECHANICAL AND/OR PLUMBING ITEMS ARE TO REMAIN, ALL PENETRATIONS, SEALS, ETC. IF REQUIRED FOR THE NEW CONSTRUCTION SHALL BE PRESERVED OR REPAIRS SHALL BE MADE TO PRESERVE THE ORIGINAL CONDITION. CONTRACTOR SHALL CONSULT EXISTING DOCUMENTS FROM THE INSTALLATION OF WORK TO BE PRESERVED WITH CONSTRUCTION DOCUMENTS TO DETERMINE THE EXISTING CONDITIONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

ALL NEW CONSTRUCTION MATERIALS SHALL BE INSTALLED IN ACCORDANCE TO MANUFACTURER'S INSTRUCTIONS.

ALL INSULATION BATTES SHALL BE NON-CONTAMINABLE AND SHALL NOT CONTAIN ANY TOXIC OR IRRITATING COMPOUNDS. ALL NEW CONSTRUCTION MATERIALS SHALL BE LOOK AHEADS FREE.

WHERE OCCURRING, CONTRACTOR SHALL PATCH AND FINISH ANY AND ALL WALLS AND SURFACES AS NOTED TO BE REPAIRED BY CONTRACTOR.

INTERIOR WALLS, CEILING, AND DOORS SHALL BE INSTALLED IN ACCORDANCE TO STATE AND LOCAL CODES, INCLUDING: BURNED TYP. FINISH MATERIALS.

ANY INSULATION BATTES SHALL BE NON-CONTAMINABLE AND SHALL NOT CONTAIN ANY TOXIC OR IRRITATING COMPOUNDS. ALL NEW CONSTRUCTION MATERIALS SHALL BE LOOK AHEADS FREE.

INDUSTRIAL ARCHITECTURE

M3A ARCHITECTURE

a professional limited liability company
William L. Keefe, AIA, NCARB
4800 McWALTER CIRCL
JACKSON, MISSISSIPPI 39206
TELEPHONE: (601) 981-1277
FACSIMILE: (601) 981-1444
PROJECT:

PROJECT: METROBOX
ARCHITECT: METROBOX
PROJECT NUMBER: 22-027
DATE: 02-02-2024
DRAWN BY: PAVAN
CHECKED BY: METROBOX
REVISIONS: 1
2
3
4

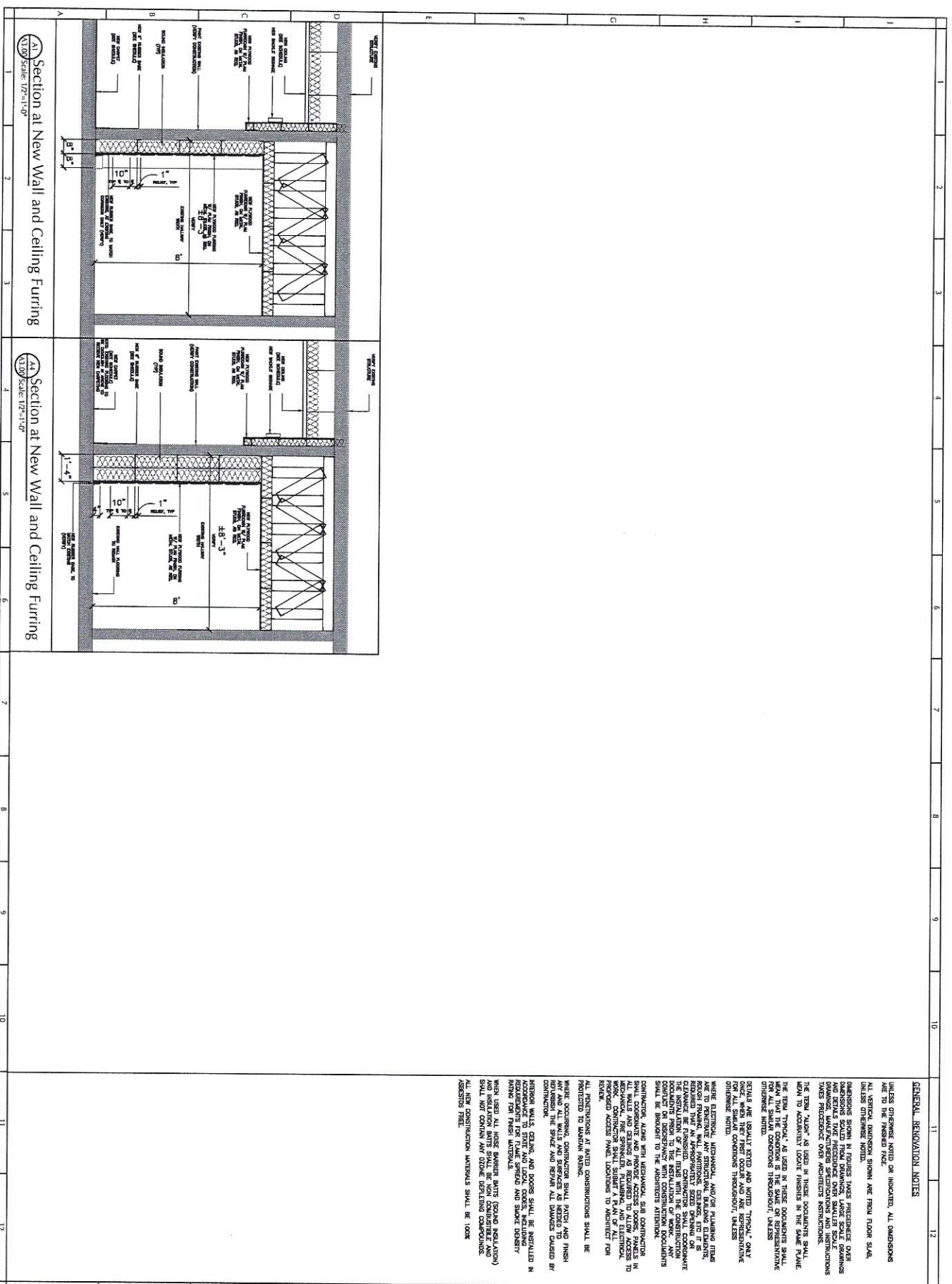
SEAL:

SHEET TITLE:
Sections

SHEET NUMBER:
A3.00

M3A ARCHITECTURE, PLLC

MULTI-MEDIA CENTER RENOVATION FOR:
SOUTHERN UNIVERSITY
BATON ROUGE, LOUISIANA



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M3A ARCHITECTURE
Professional Limited Liability Company
William L. Ardrey, AIA, NCARB
4800 McVittie Circle
Jackson, Mississippi 39206
TELEPHONE: (601) 981-1227
FACSIMILE: (601) 981-1444
PROJECT:

SECTION: 44-000-000-000-000-0000
SHEET NUMBER: **A3.01**
M3A ARCHITECTURE, PLLC

**MULTI-MEDIA CENTER RENOVATION FOR:
SOUTHERN UNIVERSITY
BATON ROUGE, LOUISIANA**

PROJECT ARCHITECT: M3A/ARX
PROJECT NUMBER: 22-2022
DATE: 02-03-2024
DRAWN BY: PLAINSH
CHECKED BY: M3A/ARX
REVISIONS: 1. _____
2. _____
3. _____
4. _____

SCALE: _____

SHEET TITLE: _____

SECTIONS: _____

GENERAL RENOVATION NOTES

UNLESS OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ARE TO THE FINISHED FACE.

ALL VERTICAL DIMENSIONS SHOWN ARE FROM FLOOR SLAB UNLESS OTHERWISE NOTED.

DIMENSIONS SHOWN IN FIGURES TAKE PRECEDENCE OVER DIMENSIONS SHOWN IN NOTES. DIMENSIONS SHOWN IN NOTES TAKE PRECEDENCE OVER ARCHITECT'S INSTRUMENTS.

THE TERM "ALONG" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISHES IN THE SAME PLANE.

THE TERM "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE THROUGHOUT UNLESS OTHERWISE NOTED.

DETAILS ARE USUALLY SET TO AND NOTED "TYPICAL" ONLY UNLESS OTHERWISE NOTED.

WHERE ELECTRICAL, MECHANICAL, AND/OR PLUMBING ITEMS ARE TO PENETRATE ANY STRUCTURAL, FINISHING ELEMENTS, CLEARANCE BE PROVIDED. CONTRACTOR SHALL COORDINATE DOCUMENTS FROM TO THE RESTRICTION OF PENETRATION CONTROL OR INTERFERENCE WITH CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT'S ATTENTION.

CONSTRUCTION SHALL BE IN ACCORDANCE WITH CONSTRUCTION IN ALL WALLS AND CEILING IS REQUIRED TO ALLOW ACCESS TO WORK. CONTRACTOR SHALL SUBMIT A PLAN OF ALL CRITICAL PROPOSED ACCESS PANEL LOCATIONS TO ARCHITECT FOR ALL PENETRATION AT ZERO CONSTRUCTION SHALL BE PROTECTED TO MAINTAIN FINISH.

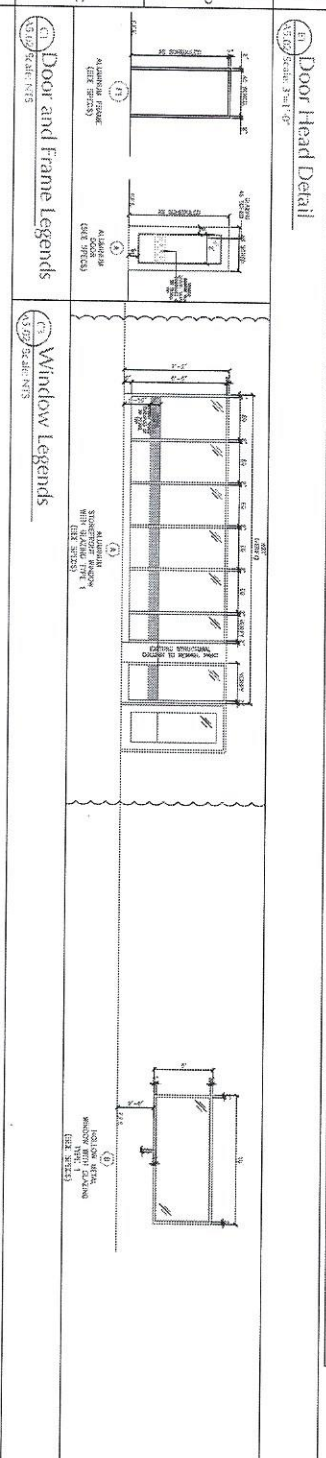
WHERE OCCURRING, CONTRACTOR SHALL PATCH AND FINISH ANY AND ALL WALLS AND SURFACES AS REFERRED TO CONTRACTOR.

WHERE WALLS, CEILING, AND DOORS SHALL BE INSTALLED IN ACCORDANCE TO STATE AND LOCAL CODES, INCLUDING PROVISIONS FOR FIRE, SOUND, AND SMOKE DENSITY RATING FOR NEW WALLS.

WHERE USED ALL THESE DOORS SHALL BE (GRADE OR INSULATION) AND INSULATION MATS SHALL BE NON-DEPLETING AND SHALL NOT CONTAIN ANY OZONE DEPLETING COMPOUNDS. ALL NEW CONSTRUCTION MATERIALS SHALL BE LEAD ASSESSMENTS FREE.

GENERAL DOOR AND WINDOW NOTES:
 1. ALL DOOR AND WINDOW SCHEDULES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 2. ALL WINDOW SCHEDULES SHALL BE 16' CLEAR HEIGHT AT ALL TIMES.
 3. ALL WINDOW SCHEDULES SHALL BE 16' CLEAR WIDTH AT ALL TIMES.
 4. ALL WINDOW SCHEDULES SHALL BE 16' CLEAR DEPTH AT ALL TIMES.
 5. ALL WINDOW SCHEDULES SHALL BE 16' CLEAR WEIGHT AT ALL TIMES.
 6. ALL WINDOW SCHEDULES SHALL BE 16' CLEAR WEIGHT AT ALL TIMES.
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 24. ALL WINDOW SCHEDULES SHALL BE 16' CLEAR WEIGHT AT ALL TIMES.
 25. ALL WINDOW SCHEDULES SHALL BE 16' CLEAR WEIGHT AT ALL TIMES.

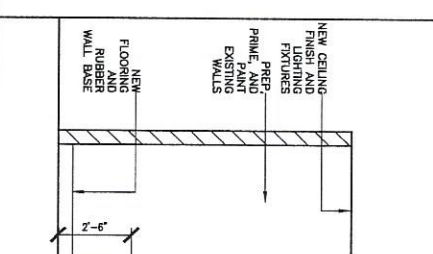
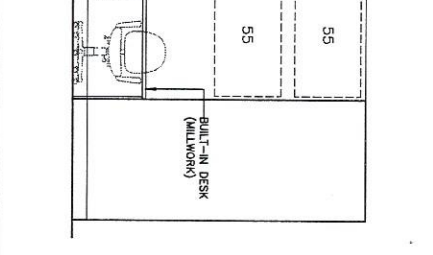
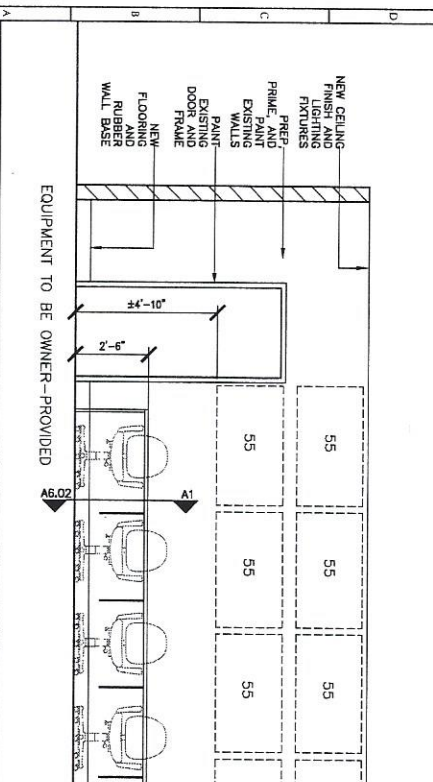
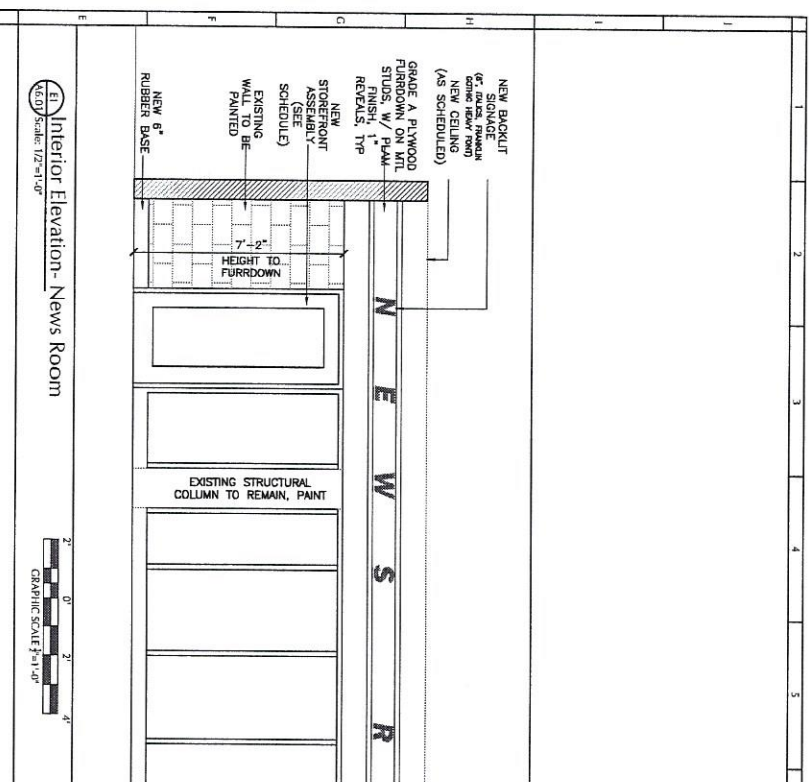
WINDOW SCHEDULE											
WINDOW ID	SIZE		COUNT	TYPE	RATING	TYPE	FRAME			NOTES	
	WIDTH	HEIGHT					HEAD	JAMB	SILL		
A	21'-0"	7'-2"	1	FIXED	NA	AL	E1/24/60	A8/25/03	A4/25/01	G1	ALUMINUM WINDOW
B	10'-0"	5'-0"	1	FIXED	NA	NA	E7/25/00	A1/25/01	E4/25/00	G1	ALUMINUM WINDOW



DOOR SCHEDULE											
DOOR NUMBER	SIZE		TYPE	RATING	TYPE	FRAME			NOTES		
	WIDTH	HEIGHT				HEAD	JAMB	SILL			
100	7'-0"	7'-0"	1	FIXED	NA	AL	E1/24/60	A8/25/03	A4/25/01	G1	ALUMINUM WINDOW

ALL CONCEPTS AND IDEAS DEVELOPED IN CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF M3A ARCHITECTURE, PLLC AND ASSOCIATED CONSULTANTS. THEY ARE SOLELY INTENDED FOR USE ON THIS PROJECT. ANY REUSE, REPRODUCTION OR ANY OTHER UNWARRANTED APPLICATION OF THESE DOCUMENTS ARE STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF M3A ARCHITECTURE, PLLC. DO NOT SCALE FROM DRAWINGS. DIMENSIONS ARE PROVIDED TO ALLOW FOR ACCURATE CONSTRUCTION OF THE PROJECT. QUESTIONS ARISING FROM DIMENSIONS SHOULD BE RESOLVED BY CONTACTING THE ARCHITECT.

1. ALL UNPAINTED SURFACES SHALL RECEIVE A GLOSS FINISH, UNLESS OTHERWISE NOTED.
2. ALL TRANSITIONS BETWEEN DISSIMILAR FLOORING METHODS AND REQUIREMENTS SHALL BE COORDINATED WITH COLOR OR STYLE IS NOT INDICATED, ARCHITECT SHALL PROVIDE SELECT COLOR FROM MFR'S.
3. ALL DISSIMILAR BRICKS, LOUVERS, DEVICES, OR OTHER SURFACES SHALL BE FINISHED TO MATCH THE SURFACE ON WHICH THEY OCCUR.
4. SURFACES TO RECEIVE A FINISH APPLICATION SHALL BE COMPLETELY SMOOTH AND FREE OF DEBRIS. IF SURFACES ARE NOT ACCEPTABLE NOTIFY THE ARCHITECT IMMEDIATELY. CORRECTED BEFORE APPLYING FINISH APPLICATION.
5. FINISH APPLICATIONS SHALL BE FREE OF UNLESS OTHERWISE STATED IN THE SPECIFICATIONS.
6. ALL PAINTED SURFACES ARE TO RECEIVE ONE COAT OF FINISH COATS. PRIOR TO ALL SURFACES ACCORDING TO MANUFACTURER'S SPECIFICATIONS PRIOR TO APPLICATION OF FINISH COATS. THE ANNUAL NUMBER OF COATS, WHEN UNDERCOATS, STAINS, OR OTHER CONDITIONS SHOW UPON SURFACES, SHALL BE INDICATED IN COLOR AND APPEARANCE.
7. UNLESS OTHERWISE STATED IN THE CONTRACT DOCUMENTS ALL PAINTED WOOD TRIM, MOULDINGS, DOORS, CASEWORK, METAL DOORS, AND METAL DOOR DETAILS UNLESS OTHERWISE STATED, REFER TO ALL MATERIALS AND SURFACES WHICH ARE TO RECEIVE FINISH. CONTRACTOR SHALL PREPARE A SAMPLE OF EACH FINISH ON THE APPROPRIATE SURFACES AND ARCHITECT FOR REVIEW PRIOR TO PROCEEDING WITH FINISHING OF ANY SURFACE. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER OF SELECTED FINISH BEFORE PROCEEDING WITH FINISHING OF ANY SURFACE.
8. REFER TO MANUFACTURER'S PROCEDURES AND RECOMMENDATIONS FOR APPLICATION, INSTALLATION, AND MAINTENANCE OF FINISHES. THE ARCHITECT'S LEGEND, IF CONSTRUCTION DOCUMENTS AND MANUFACTURER'S INSTRUCTIONS SHOULD CONFLICT, INSTALLATION IS TO FOLLOW MANUFACTURER'S INSTRUCTIONS.
9. ALL VERTICAL SURFACES TO RECEIVE FINISH SHALL BE OFFERED AS STATED.
10. PROVIDE ENJOY BASED PAINTS IN ALL RESTROOMS, WATER URINALS, AND WATER SINKS. CONTRACTOR TO ASSESS REGARDING PAINT FINISH. THE ARCHITECT IS TO BE NOTIFIED BEFORE PROCEEDING WITH FINISHING OF ANY SURFACE. CONTRACTOR SHALL PROVIDE A SAMPLE OF EACH FINISH ON THE APPROPRIATE SURFACES AND ARCHITECT FOR REVIEW PRIOR TO PROCEEDING WITH FINISHING OF ANY SURFACE.
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12. PROVIDE ENJOY BASED PAINTS IN ALL RESTROOMS, WATER URINALS, AND WATER SINKS. CONTRACTOR TO ASSESS REGARDING PAINT FINISH. THE ARCHITECT IS TO BE NOTIFIED BEFORE PROCEEDING WITH FINISHING OF ANY SURFACE.
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16. UNLESS OTHERWISE STATED, ALL VERTICAL SURFACES TO RECEIVE FINISH SHALL BE OFFERED AS STATED.



A1 Interior Elevations - Control Room
 Scale: 1/2"=1'-0"


GRAPHIC SCALE 1/2"=1'-0"


A6.01 Interior Elevations - Control Room
 Scale: 1/2"=1'-0"

GRAPHIC SCALE 1/2"=1'-0"

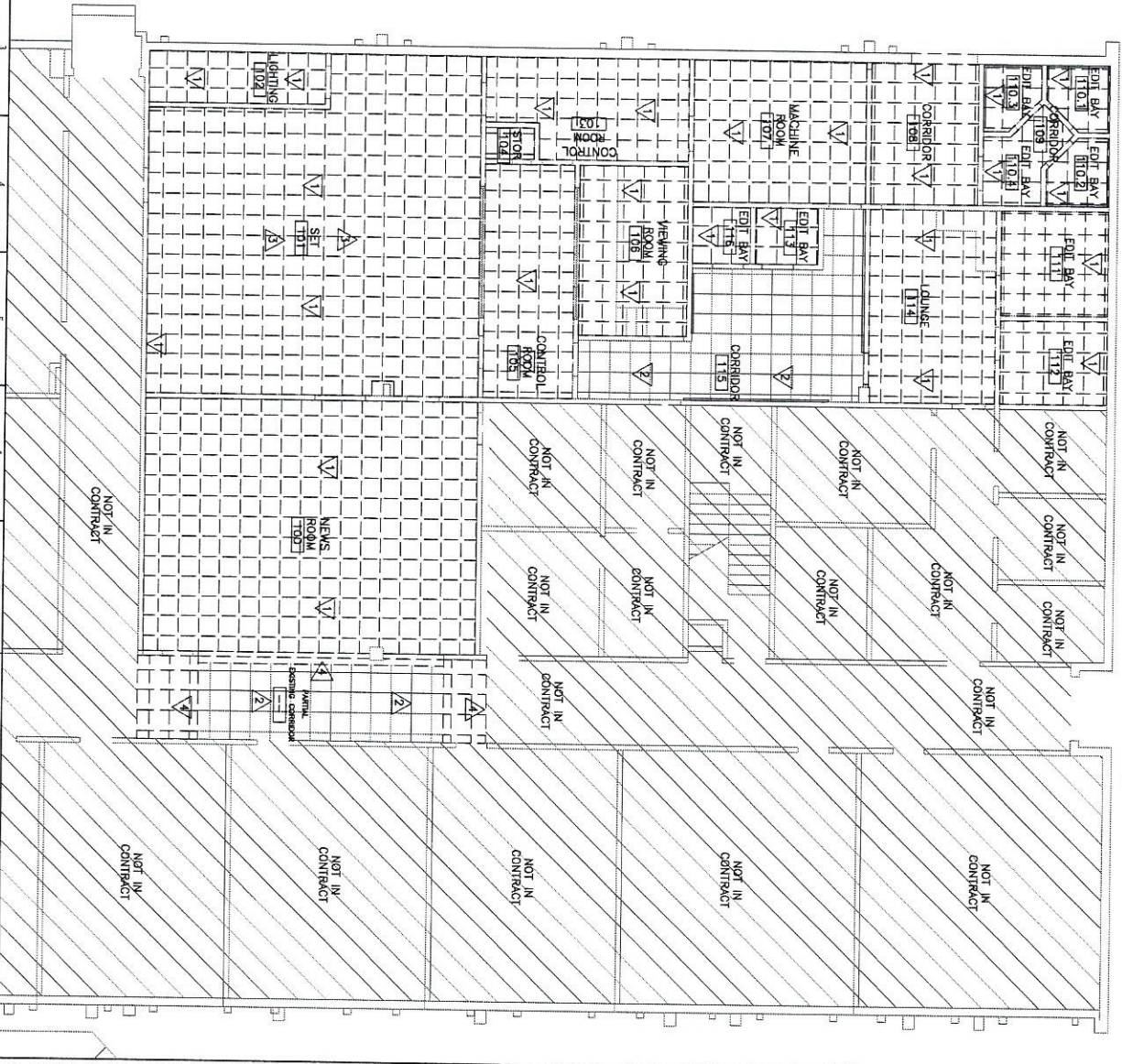
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- △ DEMOLISH EXISTING CEILING FINISH, REPAIR SURFACE TO EXISTING FINISH (AS PER SPEC.)
- △ CEILING FINISH TO REMAIN PATCH AS REQUIRED.
- △ EXISTING STUD LIGHTING COMPONENTS TO REMAIN.
- △ SELECTIVELY DEMOLISH EXISTING PRESERVATION OF NEW CEILING PANELS WHICH SUBSEQUENT FINISH.
- PAINT SCHEDULE
- ALL SCOPES INCLUDED IN NEWS ROOM CONTRACT
- ADD ALL FINISH
- ALL DATA AND POWER SCOPES IN NEWS ROOM CONTRACT EXISTING CONTROL ROOM WINDOW.
- ADD ALL FINISH
- ADD ALL FINISH IN ALL PROJECT ROOMS EXCLUDING NEWS ROOM, CONTROL ROOM, STAIRS, ETC.
- ADD ALL FINISH
- INSTALLATION OF NEW SQUARE PANELS IN STAIRWELL, STAIRS, ETC.



 NORTH NORTH


 GRAPHIC SCALE 1" = 1'-0"
 A1 Demolition Ceiling Plan
 18.07 Scale: 3/16" = 1'-0"



DRAWINGS OF EXISTING CONDITIONS HAVE BEEN OBTAINED FROM EXISTING AVAILABLE DATA SUPPLIED TO THE ARCHITECT EITHER EXPRESSED OR IMPLIED FOR THE RECORD AND FOR THE ARCHITECT'S USE ONLY. THE ARCHITECT HAS NOT CONDUCTED A VISUAL SURVEY OF THE EXISTING CONDITIONS PRIOR TO SUBMISSION TO BID.

VERIFY LOCATIONS OF EXISTING MECHANICAL, ELECTRICAL AND PLUMBING (MEP) SYSTEMS, AND ALL OTHER UTILITIES, BEFORE COMMENCING WORK. VERIFY THE LOCATION AND DEPTH OF ALL EXISTING MECHANICAL, ELECTRICAL AND PLUMBING (MEP) SYSTEMS, AND ALL OTHER UTILITIES, BEFORE COMMENCING WORK. VERIFY THE LOCATION AND DEPTH OF ALL EXISTING MECHANICAL, ELECTRICAL AND PLUMBING (MEP) SYSTEMS, AND ALL OTHER UTILITIES, BEFORE COMMENCING WORK.

THE DEMOLITION DRAWING REMOVES ARE IMMEDIATELY AND COMPLETELY TO BE ELIMINATED FROM THE PROJECT. THE ARCHITECT'S RESPONSIBILITY IS TO ELIMINATE THE EXISTING CONDITIONS FROM THE PROJECT. THE ARCHITECT'S RESPONSIBILITY IS TO ELIMINATE THE EXISTING CONDITIONS FROM THE PROJECT.

THE OWNER HEREBY AGREES TO BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CONDITIONS TO REMAIN. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CONDITIONS TO REMAIN. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CONDITIONS TO REMAIN.

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 A professional limited liability company
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 4800 McVAILLE DRIVE
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 FACSIMILE: (601) 961-4444
 PROJECT:

MULTI-MEDIA CENTER RENOVATION FOR:
SOUTHERN UNIVERSITY
 BATON ROUGE, LOUISIANA

PROJECT: M3A001
 ARCHITECT: M3A001
 PROJECT NUMBER: 22422
 DATE: 03/29/24
 DRAWN BY: J. MCKEON
 CHECKED BY: J. MCKEON
 REVISIONS:

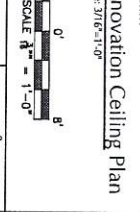
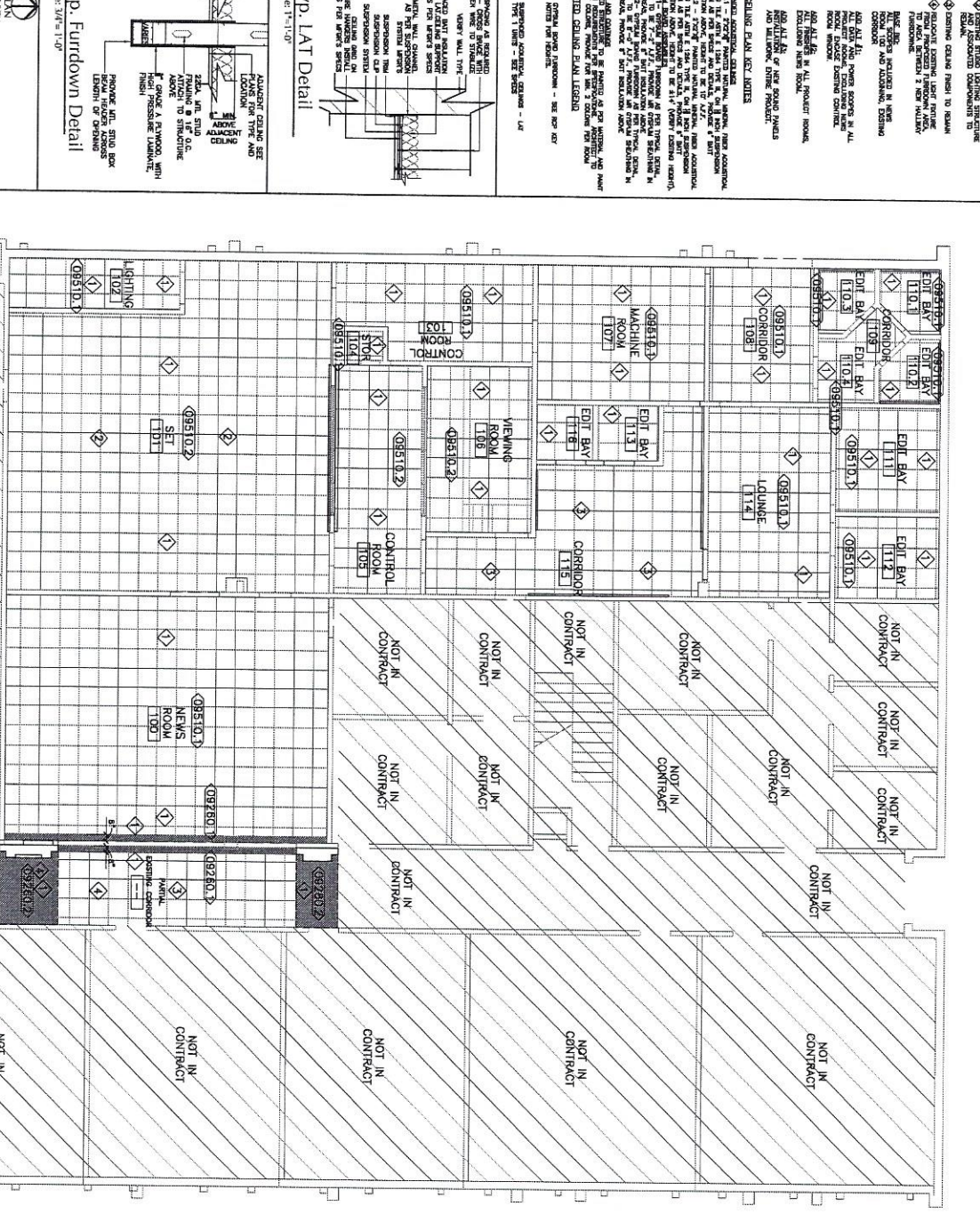


SHEET TITLE: Demolition Ceiling
 SHEET NUMBER: A8.00
 M3A ARCHITECTURE, PLLC

GENERAL RENOVATION NOTES

UNLESS OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ARE TO THE FINISHED SURFACE.
 ALL VERTICAL DIMENSIONS SHOWN ARE FROM FLOOR SLAB UNLESS OTHERWISE NOTED.
 DIMENSIONS SHOWN IN FIGURES TAKE PRECEDENCE OVER DIMENSIONS SHOWN ON DRAWINGS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS UNLESS OTHERWISE NOTED.
 DIMENSIONS SHOWN IN FIGURES TAKE PRECEDENCE OVER DIMENSIONS SHOWN ON DRAWINGS UNLESS OTHERWISE NOTED.
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INSTRUCTION: 442-0000 3/10/10

M3A ARCHITECTURE

4800 MARKET CIRCLE
 JACKSON, MISSISSIPPI 39208
 TELEPHONE: (601) 981-1227
 FACSIMILE: (601) 981-4444

PROJECT:

Architect: **M3A ARCHITECTURE, PLLC**

PROJECT ARCHITECT: MELBOXY

PROJECT NUMBER: 22-022

DATE: 02/05/2024

DRAWN BY: FLANNERY

CHECKED BY: MELBOXY

REVISIONS: 1, 2, 3, 4

SCALE:

SHEET TITLE: Renovation Ceiling Plan

SHEET NUMBER: **A8.01**

M3A ARCHITECTURE, PLLC

MULTI-MEDIA CENTER RENOVATION FOR:
SOUTHERN UNIVERSITY
 BATON ROUGE, LOUISIANA



MECHANICAL PLAN
SCALE: 3/8" = 1'-0"

1. MECHANICAL ROOM NOTES
2. MECHANICAL ROOM NOTES
3. MECHANICAL ROOM NOTES
4. MECHANICAL ROOM NOTES
5. MECHANICAL ROOM NOTES
6. MECHANICAL ROOM NOTES
7. MECHANICAL ROOM NOTES
8. MECHANICAL ROOM NOTES
9. MECHANICAL ROOM NOTES
10. MECHANICAL ROOM NOTES
11. MECHANICAL ROOM NOTES
12. MECHANICAL ROOM NOTES

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THOMPSON LURE & ASSOCIATES, L.L.C.
2000 W. GULF BLVD., SUITE 100
HOUSTON, TEXAS 77057
713.865.1234
www.thompsonlure.com

SHEET NUMBER
M1.00



PROJECT: BROADCASTING AND MASS COMMUNICATIONS RENOVATION FOR: **SOUTHERN UNIVERSITY** BATON ROUGE, LOUISIANA
ARCHITECT: MELBROX
PROJECT NUMBER: 24-022
DATE: 03/08/2024
DRAWN BY: JTW
CHECKED BY: ESI
REVISIONS: 1

M3A ARCHITECTURE
Professional liability comp.
William A. Kelley, AIA, NCARB
4800 KNOWLTON CIRCLE
HOUSTON, MISSISSIPPI 39206
TELEPHONE: (601) 981-1127
FACSIMILE: (601) 981-1444
PROJECT:

ELECTRICAL SYMBOL LEGEND

1		GROUND
2		NEUTRAL
3		LINE
4		SINGLE PHASE
5		THREE PHASE
6		DELTA CONNECTION
7		WYE CONNECTION
8		GROUND WYE CONNECTION
9		GROUND DELTA CONNECTION
10		GROUND WYE CONNECTION WITH GROUNDING TRANSFORMER

ELECTRICAL GENERAL NOTES

1. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
3. ALL ELECTRICAL WORK SHALL BE COMPLETED AND INSPECTED PRIOR TO THE COMMENCEMENT OF OTHER CONSTRUCTION WORK.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SERVICES AT ALL TIMES.
5. ALL ELECTRICAL WORK SHALL BE PROTECTED FROM DAMAGE BY OTHER TRADES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELECTRICAL SYSTEMS AND EQUIPMENT.
7. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE NATIONAL ELECTRICAL CODE (NEC).
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ELECTRICAL SYSTEMS AND EQUIPMENT.
9. ALL ELECTRICAL WORK SHALL BE PROTECTED FROM DAMAGE BY OTHER TRADES.
10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SERVICES AT ALL TIMES.

11		GROUNDING ELECTRODE SYSTEM
12		GROUNDING ELECTRODE SYSTEM WITH GROUNDING TRANSFORMER
13		GROUNDING ELECTRODE SYSTEM WITH GROUNDING TRANSFORMER AND SURGE PROTECTION DEVICE
14		GROUNDING ELECTRODE SYSTEM WITH GROUNDING TRANSFORMER AND SURGE PROTECTION DEVICE AND LIGHTNING PROTECTION SYSTEM

1		SINGLE PHASE
2		THREE PHASE
3		DELTA CONNECTION
4		WYE CONNECTION
5		GROUND WYE CONNECTION
6		GROUND DELTA CONNECTION
7		GROUND WYE CONNECTION WITH GROUNDING TRANSFORMER
8		GROUND DELTA CONNECTION WITH GROUNDING TRANSFORMER

ELECTRICAL SHEET NOTES

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3		GROUNDING ELECTRODE SYSTEM WITH GROUNDING TRANSFORMER AND SURGE PROTECTION DEVICE
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RECOMMENDING NOTES GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
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ALL SYMBOLS, ABBREVIATIONS, AND NOTES ABOVE ARE ELECTRICAL AND NOT NECESSARILY USED IN THESE CONSTRUCTION DOCUMENTS.

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 9 Professional Limited Liability Company
 4400 MAUNY LEE CIRCUIT
 JACKSON, MISSISSIPPI 39208
 TELEPHONE: (601) 981-1227
 FACSIMILE: (601) 982-4444
 PROJECT:

PROJECT: M3A/EROX
ARCHITECT: M3A ARCHITECTURE
 PROJECT NO.: 05/08/024
 DRAWN BY: SC
 CHECKED BY: LB
 REVISIONS: 1. APPROX. 01
 2
 3
 4

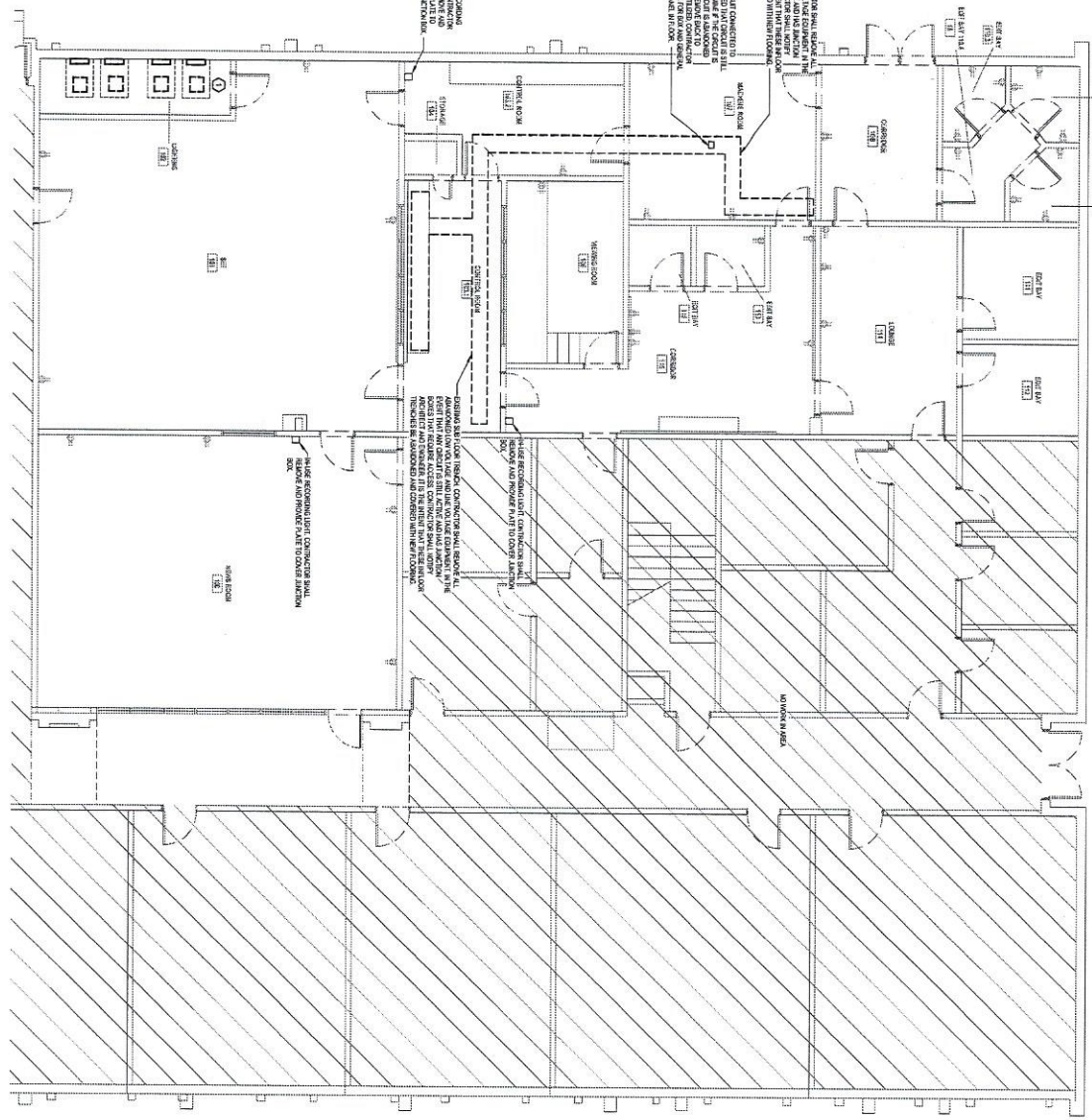
MASS COMMUNICATIONS DEPARTMENT RENOVATION AT: SOUTHERN UNIVERSITY BATON ROUGE, LOUISIANA

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THOMPSON LUIVE & ASSOCIATES, L.L.C.
 4205 WOODLAND DRIVE, SUITE 100
 BATON ROUGE, LA 70809
 PHONE: (504) 763-4200
 FAX: (504) 763-4201
 LICENSE NO. 14324

1 ELECTRICAL DEMO PLAN
3/1/17 = 7'-0"



- ELECTRICAL DEMO NOTES:**
1. REMOVE ALL EXISTING ELECTRICAL CONDUIT, RACEWAY, AND EQUIPMENT TO BE DEMOLISHED.
 2. REMOVE ALL EXISTING ELECTRICAL PANELS AND EQUIPMENT TO BE DEMOLISHED.
 3. REMOVE ALL EXISTING ELECTRICAL RACEWAY AND EQUIPMENT TO BE DEMOLISHED.
 4. REMOVE ALL EXISTING ELECTRICAL CONDUIT, RACEWAY, AND EQUIPMENT TO BE DEMOLISHED.
- ELECTRICAL REVISION NOTES:**
1. CONDUIT SHALL BE DEMOLISHED TO THE POINT OF APPLICATION.
 2. CONDUIT SHALL BE DEMOLISHED TO THE POINT OF APPLICATION.
 3. CONDUIT SHALL BE DEMOLISHED TO THE POINT OF APPLICATION.
 4. CONDUIT SHALL BE DEMOLISHED TO THE POINT OF APPLICATION.

HOOPERSON LITE & ASSOCIATES, L.L.C.
10355 Highway 604, Suite 101
Lafayette, Louisiana 70508
Phone: (225) 939-4424, Fax: (225) 939-4424
Email: info@hooperlite.com, www.hooperlite.com

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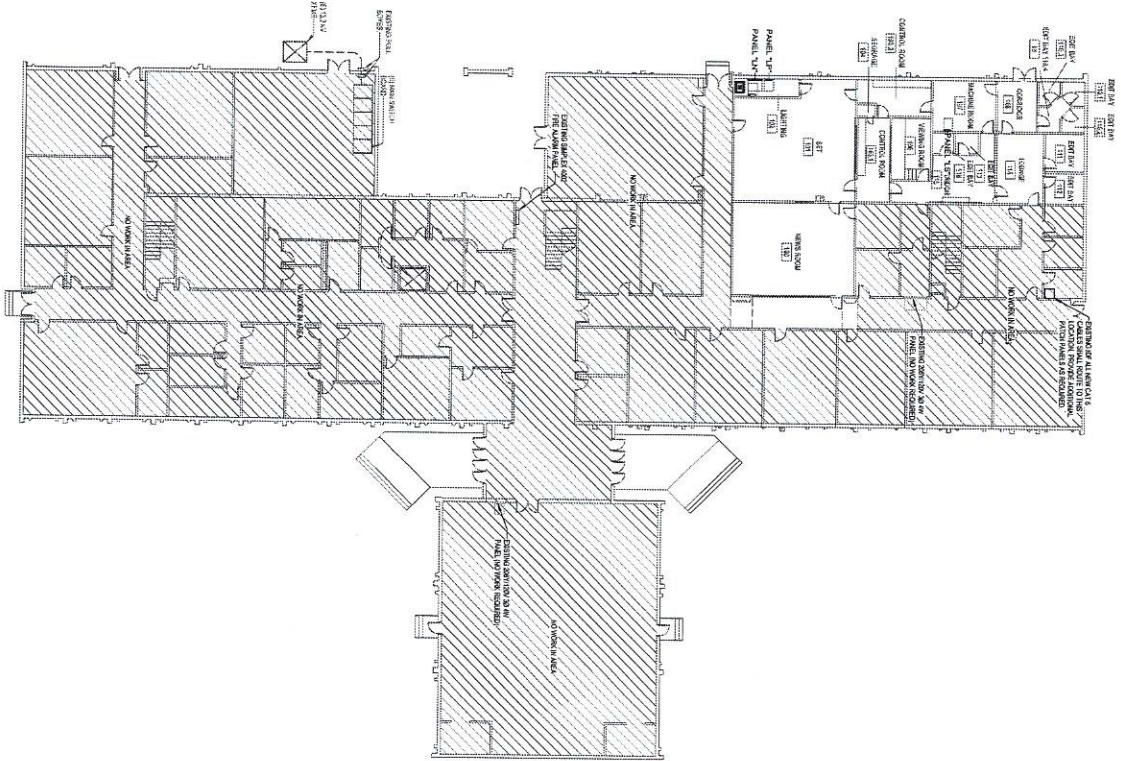
M3A ARCHITECTURE, PLLC
SHEET NUMBER
E1.01

ELECTRICAL DEMO PLAN
SHEET TITLE
DATE: 06/08/2024
DRAWN BY: LB
CHECKED BY: LB
REVISIONS: 1, ADDEN, AT
SEAL: [Professional Engineer Seal]

MASS COMMUNICATIONS DEPARTMENT RENOVATION AT: SOUTHERN UNIVERSITY
BATON ROUGE, LOUISIANA
PROJECT ARCHITECT: MELBOUR
PROJECT NUMBER: 22-022
DATE: 06/08/2024
DRAWN BY: LB
CHECKED BY: LB
REVISIONS: 1, ADDEN, AT

M3A ARCHITECTURE
a professional limited liability company
William L. McCreary, AIA, NCARB
4800 HOWLAND CIRCLE
JACKSON, MISSISSIPPI 39208
TELEPHONE: (601) 981-1227
FACSIMILE: (601) 982-4444
PROJECT:

1 ELECTRICAL OVERALL PLAN



THOMSON LUIE & ASSOCIATES, LLC.
 1000 PINEAPPLE AVENUE
 SUITE 200
 BATON ROUGE, LA 70802
 PHONE: (504) 733-1111
 FAX: (504) 733-1112
 WWW.TLMOORE.COM

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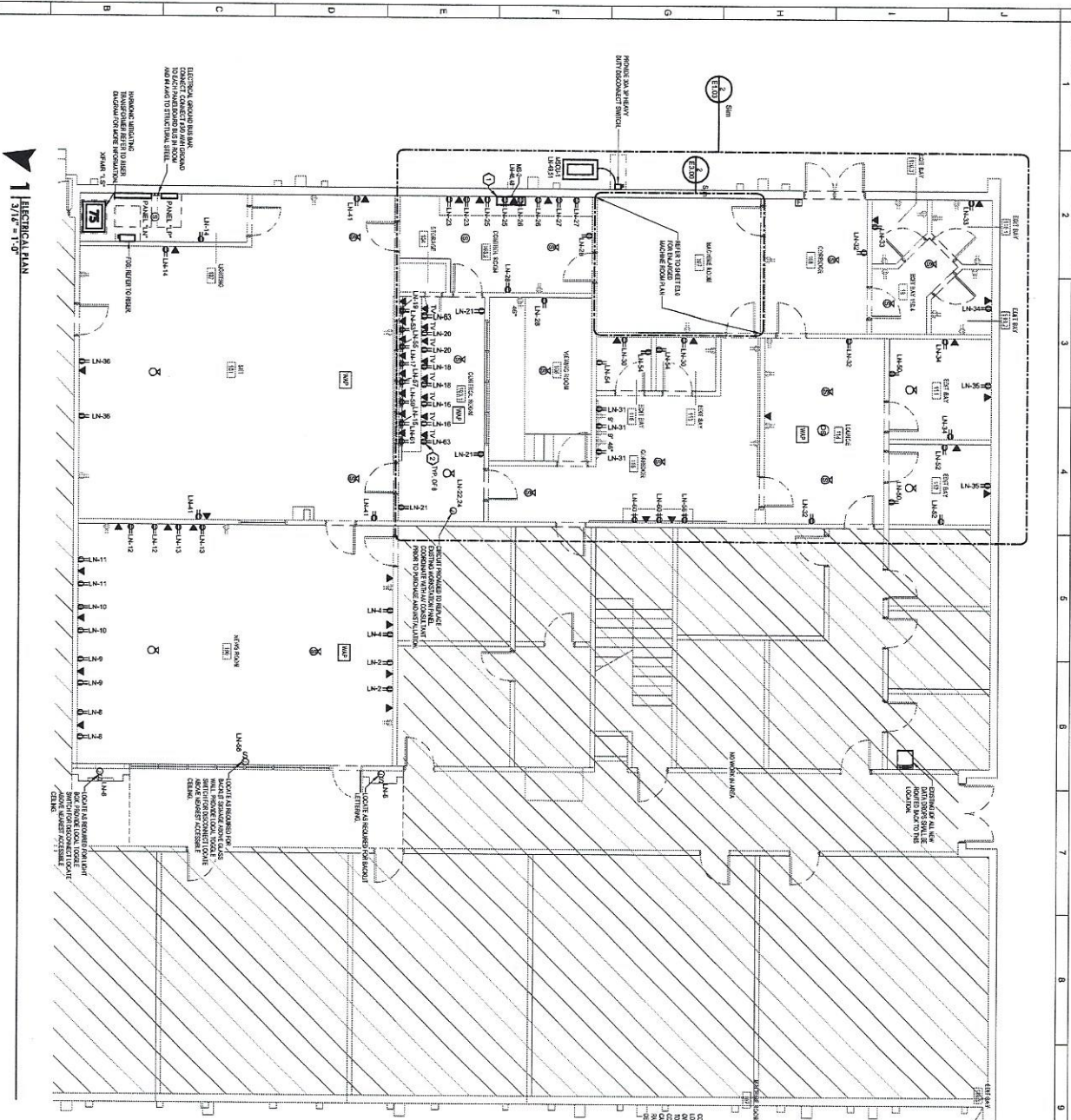
POWER PLAN
E1.02

PROJECT: MASS COMMUNICATIONS DEPARTMENT RENOVATION AT SOUTHERN UNIVERSITY
ARCHITECT: M3A ARCHITECTURE, PLLC
PROJECT NO.: 22-002
DATE: 05/08/2024
DRAWN BY: SC
CHECKED BY: LB
REVISIONS: 1. ADDEN AT

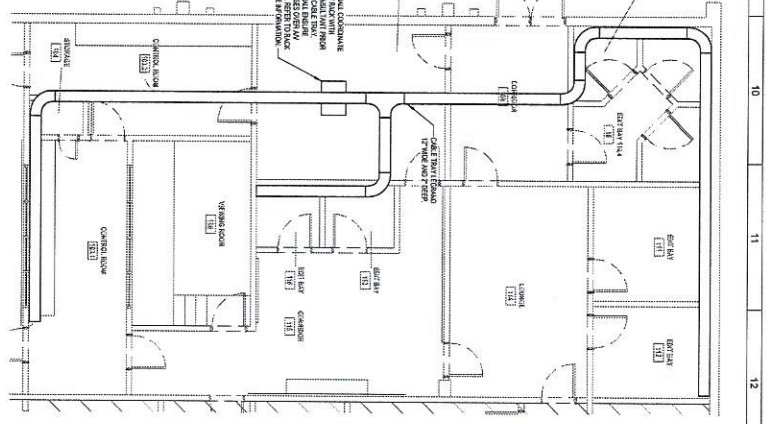
SEAL:
 PROFESSIONAL ENGINEER
 STATE OF LOUISIANA
 NO. 10869

MASS COMMUNICATIONS DEPARTMENT RENOVATION AT: SOUTHERN UNIVERSITY
 BATON ROUGE, LOUISIANA

M3A ARCHITECTURE
 a professional limited liability company
 William L. Moore, M.A., M.C.R.B.
 4400 KENTUCKE CIRCLE E
 JACKSON, MISSISSIPPI 39208
 TELEPHONE: (601) 951-1221
 FACSIMILE: (601) 952-4444
 PROJECT:



1 ELECTRICAL PLAN
3/1/18 - 1/1/18



2 ENLARGED CABLE TRAY LAYOUT
3/1/18 - 1/1/18

ELECTRICAL REVISIONS:

1	CONDUCTOR SHALL PROVIDE AN UPS BATTERY BACKUP TO THE BIODIVERSITY POWER AND CONTROL.
2	LOCATE TRAYS TO PROVIDE AN UPS BATTERY BACKUP TO THE BIODIVERSITY POWER AND CONTROL.
3	LOCATE TRAYS TO PROVIDE AN UPS BATTERY BACKUP TO THE BIODIVERSITY POWER AND CONTROL.

THOMPSON LURE & ASSOCIATES, L.L.C.
 10705 Poplar Road, Suite 101
 Baton Rouge, LA 70804
 (504) 383-4444
 www.thompsonlure.com

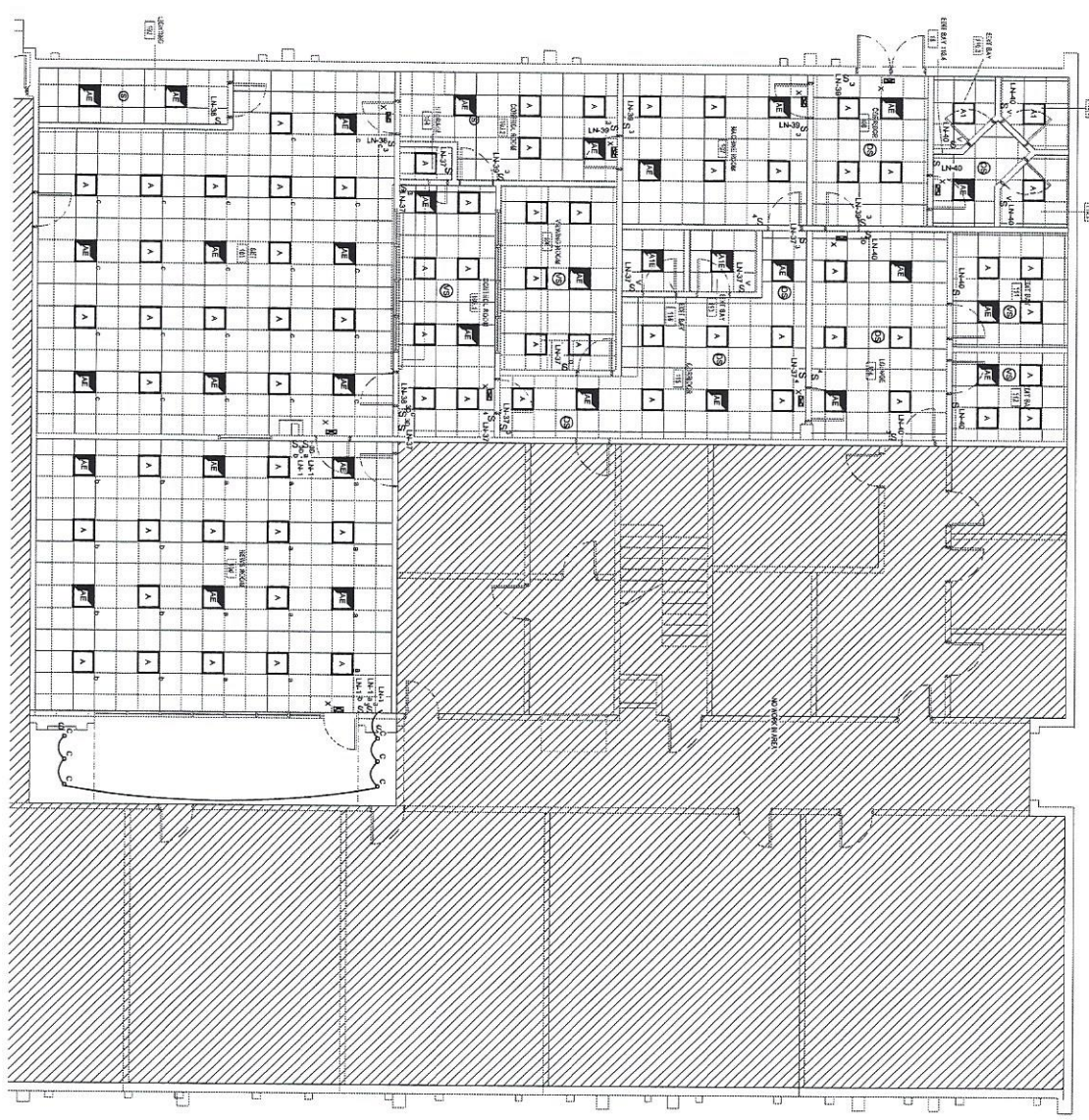
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MASS COMMUNICATIONS
 DEPARTMENT RENOVATION AT:
SOUTHERN UNIVERSITY
 BATON ROUGE, LOUISIANA

M3A
 ARCHITECTURE
 a professional limited liability company
 Warren L. Wesley, AIA, NCARB
 4880 MAULDE CIRCLE
 JACKSON, MISSISSIPPI 39208
 TELEPHONE: (601) 981-1227
 FACSIMILE: (601) 985-4444
 PROJECT:

PROJECT: MASS COMMUNICATIONS DEPARTMENT RENOVATION
 ARCHITECT: M3A ARCHITECTURE
 PROJECT NUMBER: 22-002
 DATE: 03/01/2022
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 REVISIONS: 1. ADDEN #1
 2.
 3.
 4.

SHEET NUMBER
E1.03



1 LIGHTING PLAN
3/16" = 1'-0"

THOMPSON LUIE & ASSOCIATES, LLC.
10000 Highway Road, Ste 101
Ponchartraine, LA 70004
Phone: 504.885.1234
Fax: 504.885.1235
www.thompsonlue.com

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M3A ARCHITECTURE
a professional limited liability company
William L. Wesley, AIA, NCARB
4180 KNOWLE CIRCLE
JACKSON, MISSISSIPPI 39206
TELEPHONE: (601) 951-1277
FACSIMILE: (601) 953-4444
PROJECT:

MASS COMMUNICATIONS DEPARTMENT RENOVATION AT: SOUTHERN UNIVERSITY
BATON ROUGE, LOUISIANA

PROJECT ARCHITECT: **MCELROY**
PROJECT NUMBER: **22-922**
DATE: **05/05/2024**
DRAWN BY: **SC**
CHECKED BY: **LB**
REVISIONS: 1. ADDEN AT
2. _____
3. _____
4. _____

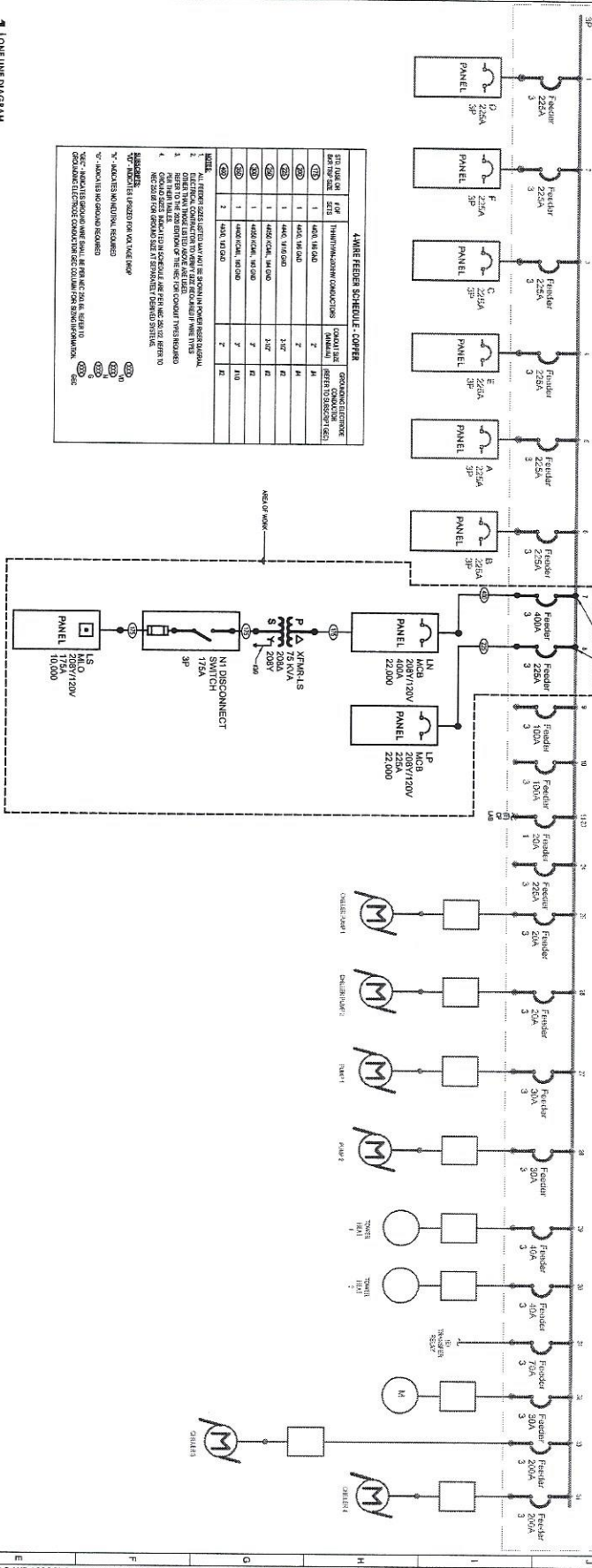


SHEET TITLE:
ELECTRICAL LIGHTING PLAN

SHEET NUMBER:
E2.00

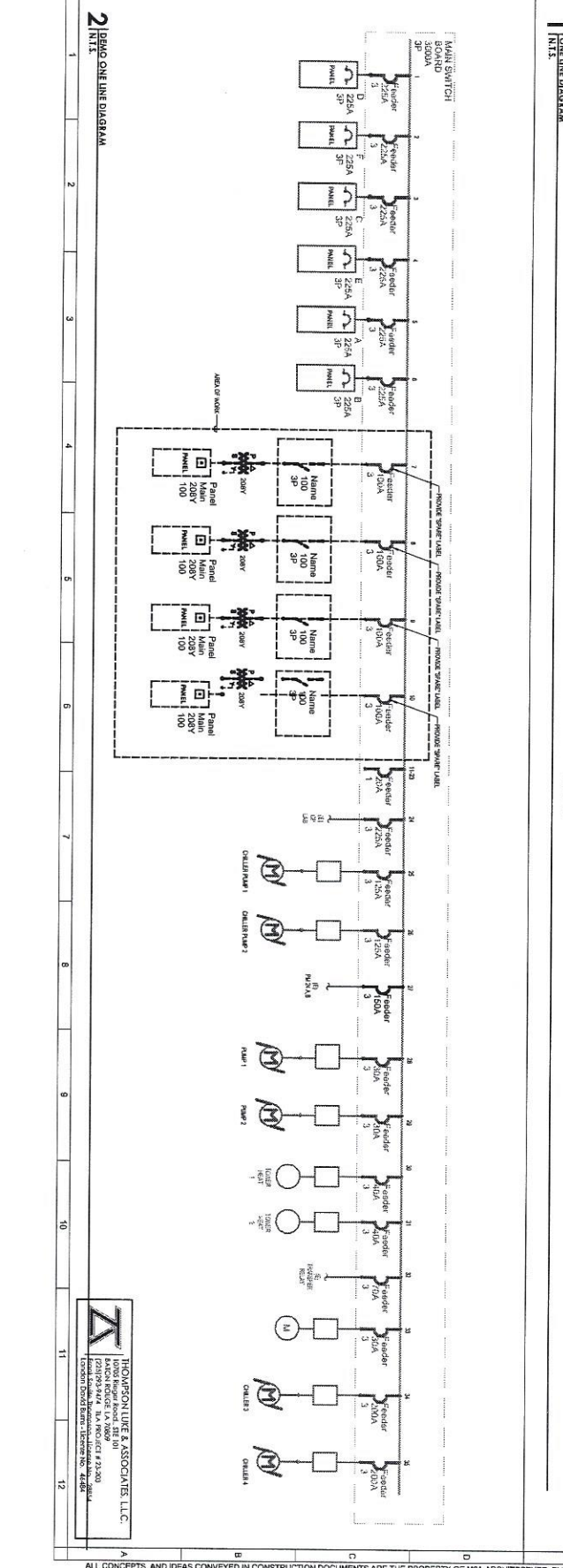
M3A ARCHITECTURE, PLLC

1 ONE LINE DIAGRAM



480V FEEDER SCHEDULE - COPPER

FEEDER NO.	FEEDER SIZE (FT)	FEEDER TYPE	FEEDER LENGTH (FT)	FEEDER MATERIAL	FEEDER WEIGHT (LBS)	FEEDER WEIGHT (KGS)
1	480	480	100	480	100	45
2	480	480	100	480	100	45
3	480	480	100	480	100	45
4	480	480	100	480	100	45
5	480	480	100	480	100	45
6	480	480	100	480	100	45
7	480	480	100	480	100	45
8	480	480	100	480	100	45
9	480	480	100	480	100	45
10	480	480	100	480	100	45
11	480	480	100	480	100	45
12	480	480	100	480	100	45
13	480	480	100	480	100	45
14	480	480	100	480	100	45
15	480	480	100	480	100	45
16	480	480	100	480	100	45
17	480	480	100	480	100	45
18	480	480	100	480	100	45
19	480	480	100	480	100	45
20	480	480	100	480	100	45
21	480	480	100	480	100	45
22	480	480	100	480	100	45
23	480	480	100	480	100	45
24	480	480	100	480	100	45
25	480	480	100	480	100	45
26	480	480	100	480	100	45
27	480	480	100	480	100	45
28	480	480	100	480	100	45
29	480	480	100	480	100	45
30	480	480	100	480	100	45
31	480	480	100	480	100	45
32	480	480	100	480	100	45
33	480	480	100	480	100	45
34	480	480	100	480	100	45
35	480	480	100	480	100	45
36	480	480	100	480	100	45
37	480	480	100	480	100	45
38	480	480	100	480	100	45
39	480	480	100	480	100	45
40	480	480	100	480	100	45
41	480	480	100	480	100	45
42	480	480	100	480	100	45
43	480	480	100	480	100	45
44	480	480	100	480	100	45
45	480	480	100	480	100	45
46	480	480	100	480	100	45
47	480	480	100	480	100	45
48	480	480	100	480	100	45
49	480	480	100	480	100	45
50	480	480	100	480	100	45



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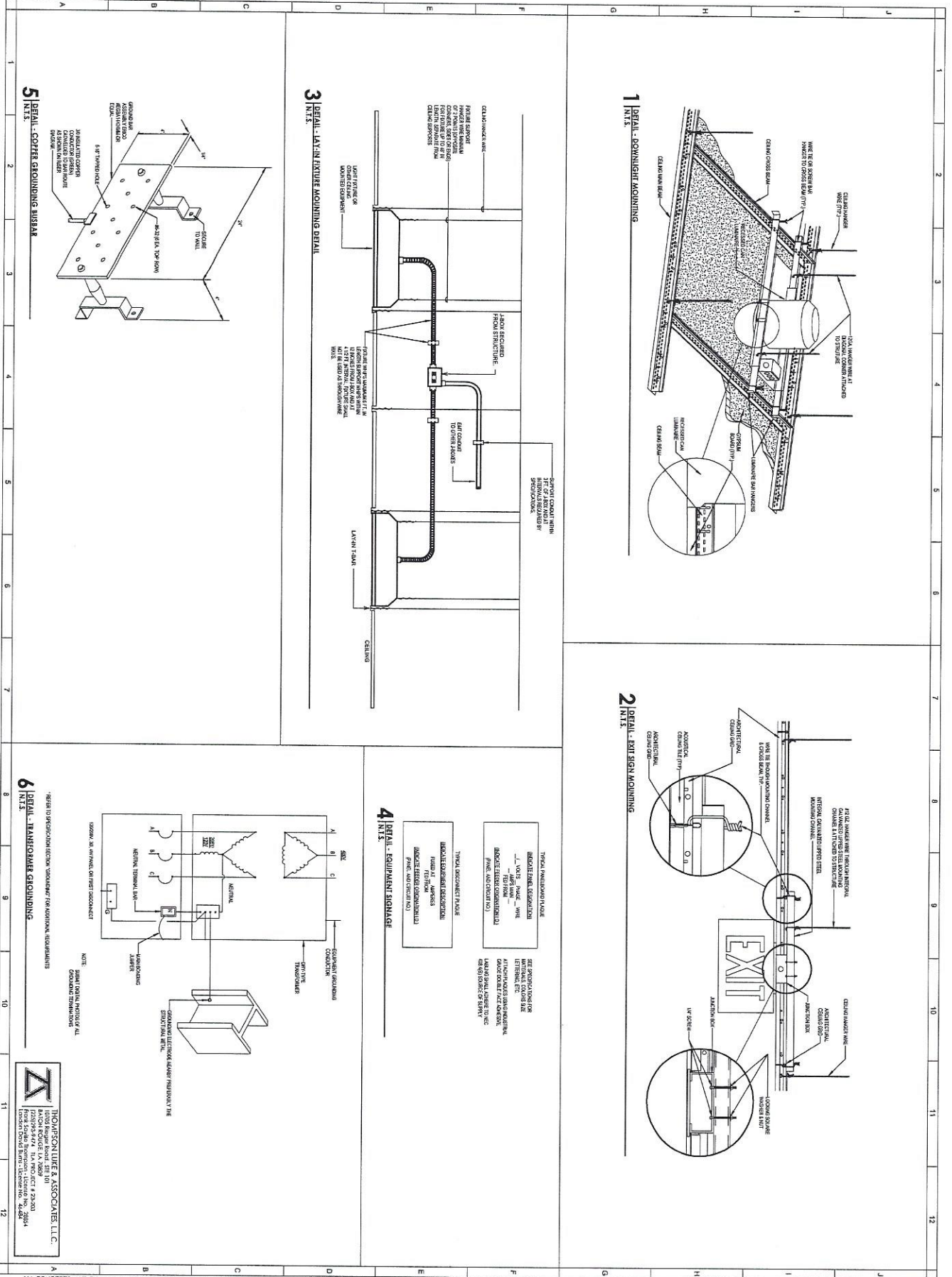
MASS COMMUNICATIONS DEPARTMENT RENOVATION AT: SOUTHERN UNIVERSITY BATON ROUGE, LOUISIANA

M3A ARCHITECTURE
 a Professional Limited Liability Company
 William L. Webery, AIA, NCARB
 4800 KNOWLTON CIRCLE
 JACKSON, MISSISSIPPI 39208
 TELEPHONE: (601) 981-1727
 FACSIMILE: (601) 983-4444
 PROJECT:

PROJECT: MASS COMMUNICATIONS DEPARTMENT RENOVATION AT SOUTHERN UNIVERSITY
ARCHITECT: M3A ARCHITECTURE
PROJECT NUMBER: 22482
DATE: 06/08/2024
DRAWN BY: ES
CHECKED BY: LD
REVISIONS: 1. ADDEN AT
 2.
 3.
 4.

SHEET TITLE: ELECTRICAL ONE LINE DIAGRAM
SHEET NUMBER: E3.01
DATE: 06/08/2024

THOMPSON LUE & ASSOCIATES, LLC
 10005 Regency Lakes Blvd. #1
 Baton Rouge, LA 70804
 (225) 293-2424 FAX (225) 293-2424
 Louisiana Board Entry - License No. 4484



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5 DETAIL - COPPER GROUNDING BUSBAR
 N.T.S.

6 DETAIL - TERMINAL GROUNDING
 N.T.S.

4 DETAIL - EQUIPMENT STORAGE
 N.T.S.

3 DETAIL - LAY-IN FIXTURE MOUNTING DETAIL
 N.T.S.

2 DETAIL - EXIT SIGN MOUNTING
 N.T.S.

1 DETAIL - DOWNLIGHT MOUNTING
 N.T.S.

M3A ARCHITECTURE
 a professional limited liability company
 William L. Meery, AIA, NCARB
 4180 KNOWLTON CIRCLE
 JACKSON, MISSISSIPPI 39206
 TELEPHONE: (601) 981-1277
 FACSIMILE: (601) 983-4444
 PROJECT:

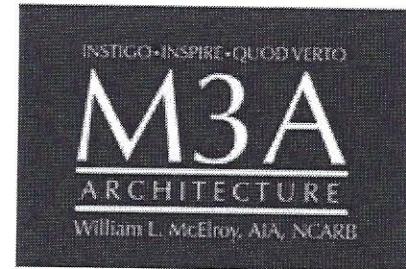
MASS COMMUNICATIONS DEPARTMENT RENOVATION AT: SOUTHERN UNIVERSITY BATON ROUGE, LOUISIANA

PROJECT ARCHITECT: MEL BROX
 PROJECT NUMBER: 22-2022
 DATE: 05/08/2022
 DRAWN BY: LB
 CHECKED BY: LB
 REVISIONS: 1. ADDREV #1
 2.
 3.
 4.

SEAL: [Professional Engineer Seal]

PROJECT TITLE: ELECTRICAL DETAILS
 SHEET TITLE: E5.00
 SHEET NUMBER: E5.00
 M3A ARCHITECTURE, PLLC

Pre-Bid Meeting Agenda
Southern University
Mass Communications Renovation
Baton Rouge, Louisiana
April 29, 2024
Architects Project Number – 22-022



Objective:

The purpose of the conference is to outline bidding requirements and provide an opportunity for the Plan Holders to look, observe, and take notes of site conditions.

I. Introductions:

A. Team Members:

- Owner: Southern University
- Architect: M3A Architecture, PLLC/William L. McElroy AIA, NCARB
 - William McElroy – Principal Architect
 - Yolanda Burks – Project Manager

II. General Comments:

A. Confirm Sign-In

Pre-Bid Meeting is Non-Mandatory, verify that all contact information is on the sign in sheet for verification of attendance.

B. Minutes of Conference

Minutes of conference will be provided in a forthcoming addendum, along with copies of the original sign in sheet.

III. Contract Documents:

A. Project Scope

1. *Discussion; see plans*

C. Addendums

1. To date, no Addendums have been issued.

IV. Review of Bidding Requirements:

A. Instructions to Bidders (Section 00200)

- Bid Submission Requirements
 - Per advertisement
- Bid Documents Identification and Availability
 - Per Advertisement
- Site Assessment
 - Bidders will be able to investigate site today after conclusion of meeting
 - Site Assessment visits after today must be arranged by contacting M3A Architecture within 48 hours of desired date and time of visit.
- Bidder Qualifications
 - Louisiana Licensed Contractor and Subcontractor
 - **Attendance at Pre Bid Meeting is Mandatory to submit bids**
- Bid Submission Procedure
 - Submit on provided Proposal Form – Section 00400
 - Submit One (1) original and Two (2) copies
 - Bid bond attached to original bid

- Other documentations required, submitted in triplicate
- Faxed copies not accepted
- Bid Requirements
 - Bid Bond
 - Signature and Seal
- Offer Acceptance/Rejection
 - Owner reserves the right to reject or accept any offers
 - Bids shall remain open for a forty-five (45) day period
- B. Proposal Form (Section 00400)**
 - To be submitted at required date and time
 - Submit One (1) Original, and Two (2) Copies
 - Clean Proposal Form will be provided by Addendum
 - No other proposal form may be used for bid submission
- C. Bids may be submitted electronically as per advertisement**
- D. Bond Forms (Section 00600)**
 - Identification of required bond forms for selected bidder
 - Performance Bond- AIA A312
 - Payment Bond- AIA A312
- E. General Conditions (Section 00700)**
 - Identification of Project General Conditions Standard Form
 - AIA A201 General Conditions of the Contract for Construction, 2007 Edition
- F. Supplementary Conditions (Section 00800)**
 - Addendum to Standard Form of Agreement Between Owner and Contractor Where the Basis of Payment is a Stipulated Sum, AIA Document A101-2017, and to AIA Document A101-2017 Exhibit A, Insurance and Bonds, and to General Conditions of the Contract for Construction, AIA Document A201-2017
 - The Contract Documents
 - The Contract Sum
 - Payments
 - Dispute Resolution
 - Miscellaneous Provisions
 - Enumeration of Contract Documents
 - General Provisions
 - Owner
 - Contractor
 - Architect
 - Subcontractors
 - Construction by Owner or by Separate Contractors
 - Changes in the Work
 - Time
 - Payment and Completion
 - Protection of Persons and Property
 - Insurance and Bonds
 - Uncovering and Correction of Work
 - Miscellaneous Provisions
 - Termination or Suspension of the Contract

- Claims and Disputes
- G. Insurance Requirements (Section 00900)**
 - Identifies Contractor and Owner Project Insurance Requirements
 - Automobile/Vehicle Liability Coverage
 - Commercial General Liability Coverage
 - Commercial Umbrella Coverage
 - Workers Compensation and Employers Liability Coverage
 - Owners Liability Coverage
 - Property Damage

V. Site Issues / Miscellaneous:

A. Site Access Discussion

- Construction parking, construction lay down area and site access will be provided on site, to be determined before start of construction.
- Awarded Contractor will be allowed full and unimpeded access to the site once construction begins.
- Care and Caution should be taken to avoid, disruption of school activities as much as possible.

B. Site Security Discussion

- It will be on the Contractor to provide site security for all property, including the building itself and all building elements.

C. Hours of Operation

- Construction hours will be determined by Southern University calendar and events. Contractor to verify the school's activities and schedules with appropriate administrator

D. Construction Activities

- Noise generating activities that will affect the instruction and activities of Southern University must be minimized and coordinated with appropriate administrator

E. Tobacco-Alcohol-Drugs

- No construction personnel are allowed to possess, use, and or abuse any illegal substances on site or before arriving to the site for work.
- Anyone caught or suspected of use or abuse of illegal substances will be escorted from the site by the proper authorities, and will not be allowed to return for the duration of the project.

F. Cleanliness of Site

- Daily cleaning of exterior of site will be required.
- Interior cleaning will be required in order to maintain a safe working environment for construction employees.

G. Safety

- All jurisdictional workplace safety guidelines should be in place and maintained from start to finish.
- There is to be no fraternization with students of the University.

VI. Site Visit Arrangements:

- A.** Contractors are allowed to visit the site after contacting M3A Architecture to arrange for access to building. Please allow a minimum of forty eight (48) hours to arrange site visits.

VII. Open Discussion:

- A.** Professional Representatives are in attendance; however, all items that need clarification should be properly submitted to the Architect in a Request for Information (RFI) format to be binding to the bid process. No answers provided verbally at the pre bid meeting today are binding to the contract. All answers must be in writing through the addendum process in order to be binding to the contract.

Project Professional Contact Information
M3A Architects, PLLC/William L. McElroy AIA, NCARB
4880 McWillie Circle
Jackson, Mississippi 39206
P - 601-981-1227/F - 601-983-4444
Yolanda Burks- Project Manager
yburks@m3aarch.com

PRE-BID CONFERENCE & SITE-VISIT: APRIL 29, 2024@ 10:30 AM - BID NUMBER 10321
 SOUTHERN UNIVERSITY AND A&M COLLEGE-MULTI-MEDIA CENTER @ W.W. STEWART HALL
 PRE-BID & SITE LOCATION: PHYSICAL PLANT DEPARTMENT-BENJAMIN H. KRAFT BUILDING-515 JAMES L. HUNT STREET

PLEASE PRINT CLEARLY IN THE APPROPRIATE AREAS (IN INK ONLY)

COMPANY	REPRESENTATIVE (PLEASE PRINT)	ADDRESS (BOX#, STREET, CITY, STATE, ZIP)	EMAIL ADDRESS	PHONE NO.
Legacy Restoration and Referral	MARCI Webb	3844 Elmwood dr, Harvey 70058	Arthurato@legacyrandr.com -Williams@legacyrandr.com	Robert 504-331-0689
MCLEROY ARCHITECTURE	WILLIAM MCKEROY	4280 McWILLIAMS CR. JACKSON, MS 39206	WMCLEROY@M3ARCHIT.COM	601-981-1616
//	YOUNG WATSON BARKS	//	Y BARKS @ M3A ARCH COM	//
//	NICHOLAS JACKSON	//	NJACKSON @ M3A ARCH. COM	//
CLM Construction	Morgan Bailey	10545 River Breeze Dr. Baton Rouge, LA 70816	Michael@CLMcontractors.com	(225) 808-5883
Deunide Sensel	Justin Smith	10549 Parkins Road Baton Rouge, LA 70815	jsmith@deunide.com	225-769-2948
CLARK CONSTRUCTION	ROGER L. CLARK	6956 GARLANDS AVE BATON ROUGE, LA 70804	ROGERCLARK@BELLSOUTH.NET	225-937-8831

Louisiana State Licensing Board for Contractors

Contractor Information

Business Name Legacy Restoration and Referral, LLC
Mailing Address 3844 Cimwood Dr
HARVEY, LA 70058
Phone Number (678) 993-9993
Email Address nwilliams@legacyrandr.com
Website http://

Active Licenses

License Number 67727
Type Commercial License
Status LICENSED
Effective 06/23/2023
Expiration 03/07/2026
First Issued 03/07/2019

License Number 884637
Type Residential License
Status LICENSED
Effective 05/31/2023
Expiration 05/30/2026
First Issued 05/30/2018

Classifications

Class

BUILDING CONSTRUCTION
HIGHWAY, STREET AND BRIDGE CONSTRUCTION
MUNICIPAL AND PUBLIC WORKS CONSTRUCTION
RESIDENTIAL CONSTRUCTION

Qualifying Party

Noel Todd Williams
Robert Mack Thornton Jr.
Robert Mack Thornton Jr.
Noel Todd Williams

Louisiana State Licensing Board for Contractors

Contractor Information

Business Name CLM Construction LLC
Mailing Address 19545 River Breeze Dr.
Baton Rouge, LA 70816
Phone Number (225) 802-5883
Email Address michael@clmcontractors.com
Website <http://www.clmcontractors.com>

Active Licenses

License Number 250844
Type Mold Remediation License
Status LICENSED
Effective 12/29/2021
Expiration 12/28/2024
First Issued 12/28/2020

License Number 65447
Type Commercial License
Status LICENSED
Effective 07/08/2024
Expiration 07/07/2025
First Issued 07/07/2017

License Number 882409
Type Residential License
Status LICENSED
Effective 09/20/2023
Expiration 09/19/2024
First Issued 09/19/2014

Classifications

Class

BUILDING CONSTRUCTION
MOLD REMEDIATION CONTRACTOR
RESIDENTIAL CONSTRUCTION
RESIDENTIAL SWIMMING POOLS

Qualifying Party

Terrence Gerard Ginn
Michael D. Hebert
Terrence Gerard Ginn
Terrence Gerard Ginn

Louisiana State Licensing Board for Contractors

Contractor Information

Business Name DEUMITE CONSTRUCTION, L.L.C.
Mailing Address P. O. Box 83330
Baton Rouge, LA 70884
Phone Number (225) 769-2948
Fax Number (225) 767-7505
Email Address sdeumite@deumite.com
Website http://

Active Licenses

License Number 43152
Type Commercial License
Status LICENSED
Effective 03/25/2024
Expiration 03/24/2025
First Issued 03/24/2005

Classifications

Class

BUILDING CONSTRUCTION
HEAVY CONSTRUCTION
HIGHWAY, STREET AND BRIDGE CONSTRUCTION
MUNICIPAL AND PUBLIC WORKS CONSTRUCTION

Qualifying Party

Norman Scott Deumite
Norman Scott Deumite
Norman Scott Deumite
Norman Scott Deumite

Louisiana State Licensing Board for Contractors

Contractor Information

Business Name ROGEE L. CLARK
Mailing Address 183 Ocean Drive
Baton Rouge, LA 70806
Phone Number (225) 937-8831
Fax Number (225) 216-2667
Email Address yvalle1@lsu.edu
Website http://

Active Licenses

License Number 35417
Type Commercial License
Status LICENSED
Effective 01/28/2023
Expiration 01/27/2026
First Issued 01/27/2000

Classifications

Class

BUILDING CONSTRUCTION

Qualifying Party

Clark, Rogee L.

Louisiana State Licensing Board for Contractors

Contractor Information

Business Name CAPITAL AREA CONSTRUCTION, L.L.C.
Mailing Address 4710 Cherrywood Street
Port Allen, LA 70767
Phone Number (225) 439-9625
Email Address capitalarea3@gmail.com
Website http://

Active Licenses

License Number 60664
Type Commercial License
Status LICENSED
Effective 12/18/2023
Expiration 12/17/2025
First Issued 12/17/2014

License Number 882511
Type Residential License
Status LICENSED
Effective 01/06/2024
Expiration 01/05/2026
First Issued 01/05/2015

Classifications

Class

Qualifying Party

ASBESTOS REMOVAL AND ABATEMENT	Sam Louis III
BUILDING CONSTRUCTION	Sam Louis III
HAZARDOUS WASTE TREATMENT OR REMOVAL	Sam Louis III
HEAVY CONSTRUCTION	Sam Louis III
HIGHWAY, STREET AND BRIDGE CONSTRUCTION	Sam Louis III
MUNICIPAL AND PUBLIC WORKS CONSTRUCTION	Sam Louis III
RESIDENTIAL CONSTRUCTION	Sam Louis III

Louisiana State Licensing Board for Contractors

Contractor Information

Business Name J.W. Grand, LLC
Mailing Address 5940 Perkins Road
Baton Rouge, LA 70808
Phone Number (225) 767-3724
Fax Number (225) 767-4978
Email Address jason@jwgrand.com
Website <http://jwgrand.com>

Active Licenses

License Number 9569
Type Commercial License
Status LICENSED
Effective 05/17/2022
Expiration 05/16/2025
First Issued 05/16/1975

Classifications

Class

BUILDING CONSTRUCTION

Qualifying Party

Jason Donovan Norris

Louisiana State Licensing Board for Contractors

Contractor Information

Business Name CAPITOL CONSTRUCTION, LLC
Mailing Address P. O. Box 14176
Baton Rouge, LA 70898
Phone Number (225) 751-0386
Fax Number (225) 751-0392
Email Address bfontana@capconla.com
Website <http://www.capconla.com>

Active Licenses

License Number 44097
Type Commercial License
Status LICENSED
Effective 10/21/2023
Expiration 10/20/2024
First Issued 10/20/2005

License Number 880329
Type Residential License
Status LICENSED
Effective 03/17/2024
Expiration 03/16/2025
First Issued 03/16/2009

Classifications

Class

BUILDING CONSTRUCTION
HIGHWAY, STREET AND BRIDGE CONSTRUCTION
MUNICIPAL AND PUBLIC WORKS CONSTRUCTION
RESIDENTIAL CONSTRUCTION

Qualifying Party

Benjamin Cottingham Fontana
Benjamin Cottingham Fontana
Benjamin Cottingham Fontana
Benjamin Cottingham Fontana